

Docket Item #9
BAR CASE# 2004-0145

BAR Meeting
July 28, 2004

ISSUE: Demolition/encapsulation
APPLICANT: John Hutton & Steve Johnson
LOCATION: 326 North Patrick Street
ZONE: RB/Residential

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by the Code Enforcement Bureau (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Enforcement, Room 4200, City Hall, 703-838-4360 for further information.

STAFF RECOMMENDATION:

Staff recommends approval of the Permit to Demolish/Capsulate as submitted.

NOTE: This docket item requires a roll call vote.

I. ISSUE:

The applicant is requesting approval of a Permit to Demolish and Capsulate portions of the two story frame house at 326 North Patrick Street to allow for a new two story addition. The areas to be demolished/capsulated include the single story rear addition, portions of the rear wall of the main block and a portion of the rear slope of the roof on the main block.



Figure 1 West elevation

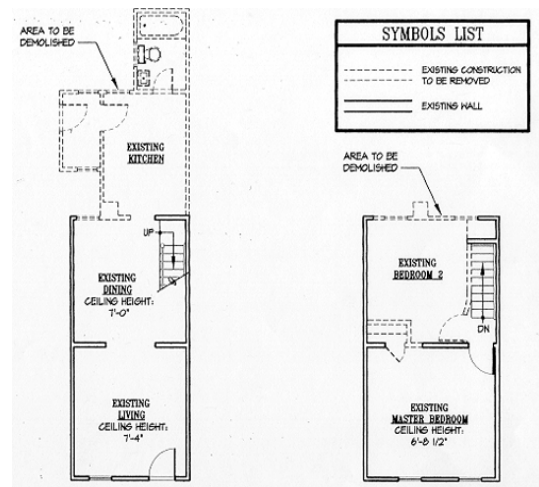


Figure 2 Proposed demolition

II. HISTORY:

According to Ethelyn Cox in *Historic Alexandria, Virginia: Street by Street*, the paired houses at 324 and 326 North Patrick Street date to the mid-19th century. The two story, gable roofed houses share an areaway to the back. They appear to be shown on the 1877 *Hopkins Atlas* and have no rear additions at that date. Sanborn mapping indicates that the present oddly configured one story rear addition at 326 North Patrick Street was added between 1921 and 1941, presumably in several stages. Although quite small and simple, the paired houses are distinguished by their corner pilasters, an architectural embellishment popular in the Greek Revival period. Regrettably, the cornice has been obscured by a shingled pent roof, probably dating to the mid to late 20th century.



Figure 3 East elevation

Staff could find no record of BAR review for alterations at either 324 or 326 North Patrick Street. In 1997, the Board approved demolition/capsulation and a two story addition and alterations at 322 North Patrick Street (BAR Case #s 93-10PG and 93-11PG, 4/28/1993 and 5/12/1993). In 2003 the Board approved the replacement of windows, enclosure of the porch and other alterations at 330 North Patrick Street (BAR Case #s 2003-00181 and 2003-00182, 8/27/2003).

III. ANALYSIS:

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, Sec. 10-205(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (5) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?
- (6) Would retention of the building or structure help maintain the scale and character of the neighborhood

In the opinion of Staff, while the building meets criteria 1, 4 and 6, the proposed demolition/capsulation is reasonable and will not significantly diminish the integrity of the historic building. The one story addition to be demolished dates to circa 1931 and does not have any historical or architectural significance. The use of a narrower hyphen on the same footprint as the existing one story addition to connect the new construction to the historic main block limits the disturbance. At least half the area of the rear wall which will be impacted by the new construction is already capsulated by the existing one story addition. Enough of the rear wall is retained to illustrate the original form of the house. The amount of roof area to be capsulated is limited to a relatively small area on the north side of the rear slope of the gable. Thus, Staff believes the proposed demolition/capsulation is in accordance with the Board's policy that the absolute minimum demolition of an existing structure should take place" and that "the amount of demolition be limited to that necessary to accommodate access to the addition rather than wholesale demolition and replacement of the rear facade." (Demolition of Existing Structures - Page 1)

IV. STAFF RECOMMENDATION:

Therefore, Staff recommends approval of the Permit to Demolish/Capsulate as submitted.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

C-1 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

Historic Alexandria:

“No comment.”

Alexandria Archaeology:

F-1 According to Ethelyn Cox’s *Historic Alexandria, Virginia, Street by Street, A Survey of Existing Early Buildings*, the existing structure on this lot was built in the mid- nineteenth century. Tax records indicate that there was a free African American household on this street face in 1850, but the exact addresses are unknown. The property therefore has the potential to yield archaeological resources which could provide insight into domestic activities, perhaps relating to free blacks, in nineteenth-century Alexandria.

R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

R-2 The above statement must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.