

Docket Item #10
BAR CASE# 2004-0146

BAR Meeting
July 28, 2004

ISSUE: Addition and alterations

APPLICANT: John Hutton & Steve Johnson

LOCATION: 326 North Patrick Street

ZONE: RB/Residential

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by the Code Enforcement Bureau (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Enforcement, Room 4200, City Hall, 703-838-4360 for further information.

STAFF RECOMMENDATION:

Therefore, Staff recommends deferral for restudy to reduce the size of the rear section of the addition. On the other hand, should the Board approve the addition at this time, the following conditions should be included in the approval:

1. That the replacement windows in the front be true-divided-light windows; and
2. The following statement must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.
Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

NOTE: Docket item #9 must be approved before this docket item can be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for alterations to the existing two story frame historic main block and for a new two story frame addition. The addition will replace the existing one story rear addition.

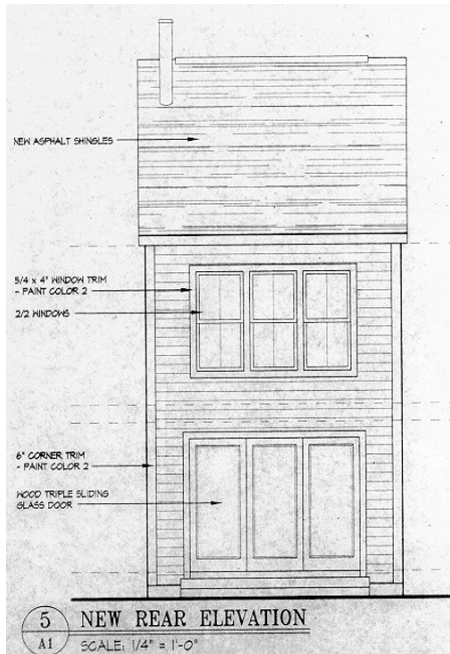


Figure 1 West elevation



Figure 2 South elevation

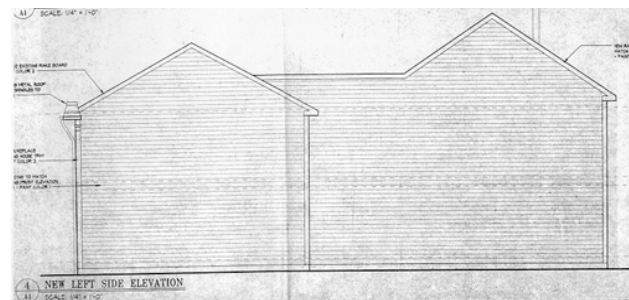


Figure 3 North elevation

Addition

The new construction will consist of a two story hypen, approximately 9' wide and 8' long, connecting to the historic main block and a new two story addition approximately 13.5' wide and 24.5' long. At 13.5' wide the addition will be nearly the full width of the 14' wide lot. The expanded house will extend approximately 12' beyond the current rear wall of the house and

approximately 6' beyond the rear walls of the two adjacent houses. The narrower hyphen section will create a small courtyard area on the south side of the lot between the historic main block and new rear addition. The hyphen will have a shed roof sloping from north to south. The addition will mirror the historic main block in orientation and form, with a gable roof parallel to the alley. According to the architect, the addition will be clad in wood siding and will have wood trim, wood simulated-divided light double hung windows, wood doors and an asphalt shingled roof. The rear (west) elevation will have a set of three sliding, fully glazed doors centered in the first story. A metal pipe chimney will be located on the north side of the gable roof. There will be a set of three two-over-two windows centered above the doors. The 32' long north side addition elevation will have no fenestration or architectural features. The south side elevation will have fenestration only on the short hyphen section.

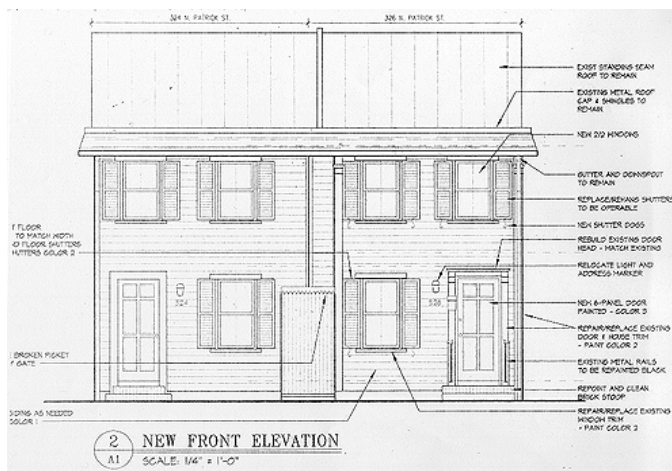


Figure 4 East elevation

Alterations to existing house

The following repair and replacement is proposed for the front (east) elevation:

- New two-over-two simulated divided light windows
- Replace or rehang second story wood shutters to be operable
- Rebuild existing door head to match existing
- Relocate light and address marker
- Replace door with new 6-panel wood door
- Repair/replace existing door and house trim
- Repoint and clean brick stoop
- Repair/replace existing window trim
- Repair siding as needed
- New first floor wood shutters to match width of second floor shutters

The following repair and replacement is proposed for the north side elevation:

- Replace existing rake board
- Repair/replace existing house trim

- New wood siding to match existing front elevation siding

The house will be painted to match the house at 324 North Patrick Street with a dark green body, cream trim and a black door.

A new HVAC unit will be located on the ground at the back of the new addition. No information was given concerning the fence. The current fence is dilapidated and encroaches on the alley. The yard beyond the addition must be retained as open space with no parking area allowed.

The back of the house is visible from the public alley at the rear.

II. HISTORY:

As discussed in docket item #9, the paired houses at 324 and 326 North Patrick Street date to the mid-19th century. The two story, gable roofed houses share an areaway to the back. The present one story rear addition at 326 North Patrick Street was added between 1921 and 1941. Although quite small and simple, the paired houses are distinguished by their Greek Revival style corner pilasters.

Staff could find no record of BAR review for alterations at either 324 or 326 North Patrick Street. In 1997, the Board approved demolition/capsulation and a two story addition and alterations at 322 North Patrick Street (BAR Case #s 93-10PG and 93-11PG, 4/28/1993 and 5/12/1993). In 2003 the Board approved the replacement of windows, enclosure of the porch and other alterations at 330 North Patrick Street (BAR Case #s 2003-00181 and 2003-00182, 8/27/2003).

III. ANALYSIS:

The proposed addition and alterations meet the requirements of the zoning ordinance.

Staff has no major concerns about the proposed work for the existing historic building. As the existing six-over-one windows are in poor condition and are not likely to be original, Staff believes replacement is appropriate. While the Greek Revival detailing of the door surround and pilasters suggests that six-over-six windows, typical of the first half of the 19th century, might be more appropriate than two-over-two windows, typical of the last quarter of the 19th century, the precise construction date of the paired houses is unknown as is the precise date when two-over-two windows replaced six-over-six in popularity and common usage in Alexandria. Given that the house appears to date to this transitional period and the proposed two-over-two windows will match those in 324 North Patrick Street, the other half of the paired house, Staff believes they are acceptable. Staff believes the front windows should be true divided light windows rather than simulated divided light windows as they are readily accessible to the public and this is a mid-19th century building. Staff has no objection to the use of simulated divided light windows at the rear of the house as these will not be as visible and for the most part will be on new construction. The applicant might consider using one-over-one windows on the new construction to further distinguish new from old.

The proposed alterations to the shutters on the front elevation to make them operable and fit the

size of the windows will improve the historic appearance of the facade. The replacement of the current modern flat door with a paneled wood door is also an improvement. However, as with the windows, the appropriateness of the type of door proposed can be questioned. The six panel door is typical of the early and mid nineteenth century and by late nineteenth century had been replaced in popularity and usage by four panel door and a plethora of other decorative paneled and glazed combinations. Thus, if the replacement windows are to be the later 19th century two-over-two window type, it would seem that the door should also be a later 19th century type. However, as the proposed six-panel door will match the door at 324 North Patrick Street, Staff is willing to support it. The proposed replacement of the asbestos shingles on the north side of the historic house with wood siding to match that at the front will also approve the historic appearance of the house. Staff hopes that at some point in the future, the applicant will consider restoring the cornice. Staff notes that the plans call for general repair and replacement of the existing german siding and trim in a several areas. To the greatest extent possible the existing siding and trim should be retained, in particular the pilasters framing the corners of the house.

Regarding proposed new construction, Staff appreciates the use of the hyphen which minimizes the impact of the new construction on the historic main block by holding the larger section of the addition off from the main block. In addition, Staff appreciates the use of the flounder form for the hyphen. The form is a traditional form for additions in Alexandria and limits the impact of the new roof on the old.

On the other hand, Staff does not believe the larger addition section is as successful. Staff regrets that while the hyphen preserves some of the original rear wall of the main block, the larger addition section will totally block views to the back of the historic house. The use of mirroring gabled forms at front and back is unlike any traditional evolution of buildings in Alexandria. Staff believes that the proposed addition is so large that it overwhelms the historic house in terms of its mass and scale. It has a nearly identical footprint and is approximately 2.5' higher. An addition that is the same or larger size than the main block is contrary to traditional patterns of additions which were generally added in smaller segments and often narrower than the main block. While the old and new sections of the house can not be viewed together at the same time, and thus the relationship between the two parts will not be evident to the public, Staff still believes that the proposed addition fails to comply with the intent of the Design Guidelines which says that additions should be respectful of and not overwhelm the existing structure or neighboring buildings (Residential Additions - Page 5 & 6). Lastly, Staff notes that the 32' long and 21' to 27' high north elevation of the addition will present an oppressive wall to the neighbor to the north.

Staff recommends reducing the size and, if possible, the height of the rear addition section. A lower pitched gable or a flounder form would help to reduce the perceived mass of the addition.

Staff notes the concerns of Alexandria Archeology.

IV. STAFF RECOMMENDATION:

Therefore, Staff recommends deferral for restudy to reduce the size of the rear section of the addition. On the other hand, should the Board approve the addition at this time, the following

conditions should be included in the approval:

1. That the replacement windows in the front be true-divided-light windows; and
2. The following statement must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.
Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 3 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

“No comment.”

Alexandria Archaeology:

- F-1 According to Ethelyn Cox’s *Historic Alexandria, Virginia, Street by Street, A Survey of Existing Early Buildings*, the existing structure on this lot was built in the mid- nineteenth

century. Tax records indicate that there was a free African American household on this street face in 1850, but the exact addresses are unknown. The property therefore has the potential to yield archaeological resources which could provide insight into domestic activities, perhaps relating to free blacks, in nineteenth-century Alexandria.

- R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The above statement must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.