

Docket Item #6  
BAR CASE# 2005-00053

BAR Meeting  
March 23, 2005

**ISSUE:** Alterations  
**APPLICANT:** Darrell Jones  
**LOCATION:** 1018 Queen Street  
**ZONE:** CL/Commercial

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**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by the Code Enforcement Bureau (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Enforcement, Room 4200, City Hall, 703-838-4360 for further information.

### **STAFF RECOMMENDATION:**

Staff recommends approval of the proposed alterations with the following conditions:

1. That the existing transom at the front door be retained;
2. That the existing window trim at the front be retained with the top and bottom trim matching;
3. That the existing front siding be retained, if at all possible, or be replaced with German lap siding with a 5" reveal to match the existing as closely as possible, with Staff to approve the use and type of replacement siding prior to ordering or installing.
4. That the new fence at the rear be stained or painted; and,
5. That the following statement must appear in the General Notes of all site plans so that on-site contractors are aware of the requirement:  
Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

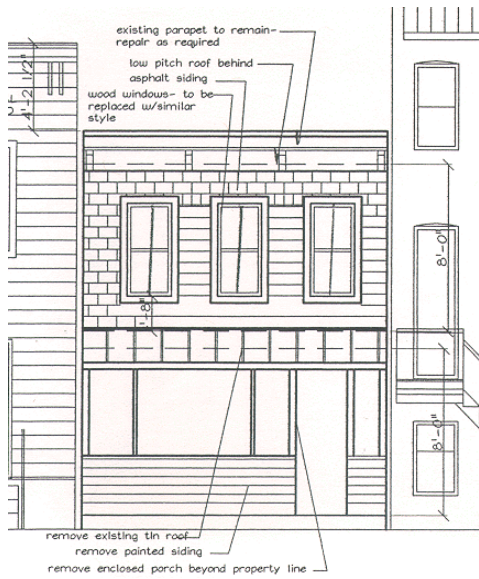
NOTE: Docket item #5 must be approved before this docket item may be considered.

### **I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for minor alterations to the front (north) facade, for a new roof over the entire house and for raising and altering the east side and rear (south) walls. The proposed project entails complete reconstruction of the interior, including two new floor assemblies, within the existing walls. The interior work does not fall under the Board's purview. The proposed exterior alterations are described in more detail below:

Roof - The existing roof starts at 19' at the front (north) and slopes back to the rear (south) of the main block while the roof over the ell slopes from west to east where the roof at its lowest point is 15.5' above grade. The new single slope roof will be minimally slanted to drain to the rear (south). Using tapered insulation on top of a flat roof structure, will allow for the highest possible ceiling heights and a roof slope of approximately ½" per foot. Thus the roof will be 17' above grade at the rear (south) edge. As there will be a parapet at the rear wall, the new roof will not be visible.

Front (north) facade - The front is to be clad in painted 8" wide beveled wood siding, according to information provided by the applicant. This does not match the existing siding which Staff has examined and believes to be original. The existing wood siding on the front of the house is an unusual variant of German siding. It has a bead in the scoop above the flat surface of the board and a reveal of approximately 5". Portions of the existing siding on the front are damaged or missing. Further exposure of the siding would be necessary to fully evaluate whether it can be retained. The siding on the sides and rear is likely to be a simpler type siding. That visible on the west side appears to be a plain lap siding.



**Figure 1** Existing north elevation



**Figure 2** Proposed north elevation

The existing wood two-over-two windows will be replaced with new wood two-over-two windows with true divided lights manufactured by Kolbe and Kolbe. The new windows will be sized to fit the existing window openings. The drawings are incorrect in that they show different trim on the first and second stories. The applicant has confirmed that the existing trim, which is the same on both stories, will be retained. The existing half light front door will be replaced with a new wood four panel door (Model #704 by JELD-WEN). The drawings are incorrect in that they do not show the extant transom. The transom must remain. A single brick step will be added at the front door. A brass lantern style light fixture (Model Y38039-PVD by Hampton Bay) will be installed beside the door. The existing Italianate wood cornice will be retained. The new roof will not be visible beyond the cornice. The siding will be painted “Bay Leaf” by Behr and the trim will be beige.

West side facade - The west facade will be retained as is. The 48.5' long wall encroaches 0.90' over the west property line onto the adjacent property at 1020 Queen Street. The applicant is not able to raise the existing west wall as this wall is not located on the subject property. City regulations prohibit such off-site modifications and limit modifications to direct repair and replacement only. Because the applicant would exceed the threshold of simply replacing or repairing the encroaching wall if he were to reuse this wall, he is proposing to build a new wall inside of the existing wall and on the west property line. The top of the existing wall will be sealed and the valley between the existing and the new higher west wall will be flashed and sloped to drain to the rear. There is a small gap of approximately 6" or less between the existing wall and the east wall of the house at 1020 Queen Street. In this way only, the west wall is very minimally visible from Queen Street.

East side facade - The east side facade will be raised approximately 2.5' in height. The existing bricktex siding will be removed and it will be clad in new 8" beveled wood siding. The siding will be painted "Bay Leaf" by Behr and the trim will be beige. The fenestration on this facade will be rearranged. The existing first story has from left to right, a door and two six-over-six windows in a non-symmetrical arrangement. The existing second story has three six-over-six windows located toward the right side of the facade. The new east side elevation will be composed of, from left to right, a paired windows and a pair of multi-light doors on the first story and a paired window and a single window on the second story. Unlike the existing openings, the new openings will be aligned vertically. Although the drawings show six-over-six windows, the windows will be two-over-two wood windows with true divided lights, according to the applicant.



**Figure 3** Existing east elevation

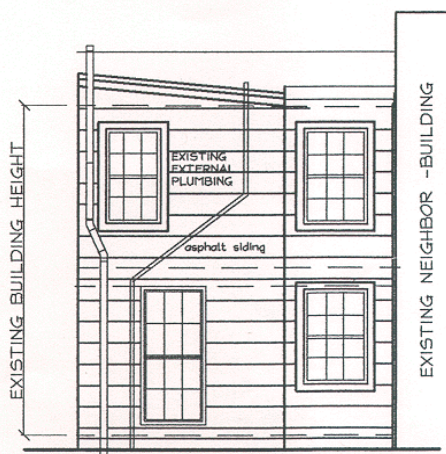


**Figure 4** Proposed east elevation

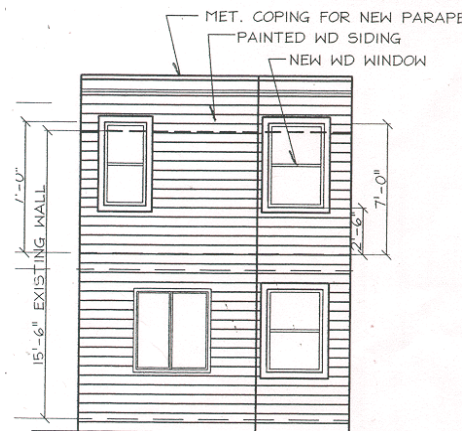
This facade is not visible from Queen Street and is visible only in minimal glimpses from the public alley at the rear.

Rear (south) facade

The rear wall will be raised 2.5' at the top. The bricktex siding will be removed and new beveled wood siding will be installed. The siding will be painted "Bay Leaf" by Behr and the trim will be beige.



**Figure 5** Existing south elevation



**Figure 6** Proposed south elevation

The window on the first story will be changed from the existing rectangular double hung sash to a wider and shorter window. Although the drawings appear to show this window as a casement and the second story window as one-over-one window, the applicant states that these new windows will also be two-over-two wood windows with true divided lights.

The upper part of the rear wall of the ell is visible from the public alley at the rear. As the applicant proposes to replace the existing fence with a solid 6' fence, the lower portion of the house will remain obscured at the rear.

### Site

The area at the front of the house where the porch formerly stood will be paved in brick, according to the plans. Staff notes that this area is city property and that permission to pave must be obtained from Transportation and Environmental Services. The HVAC unit will be located in the dogleg on the east side of the house and will be screened by the rear fence. A paved parking pad will be located where the concrete shed once stood. A new 6' high wood board fence will be installed at the end of the yard.

### **II. HISTORY:**

As described in docket item #5, the two story, detached frame house certainly predates 1901 and may predate 1877. The flat roofed house with Italianate cornice is typical of houses built in Alexandria from the 1870s through the 1910s. On November 10, 2004, the Board approved the demolition of the one story front porch and of the cinderblock shed at the rear of the property (BAR Case #2004-00238). These structures have been removed.

### **III. ANALYSIS:**

The proposed alterations comply with the zoning ordinance. On March 10, 2005, the Board of Zoning Appeals approved the applicant's request for a variance of 8' on both the west and east sides to allow the construction of the new west wall and raising of the existing east wall (BZA2005-0005).

In the opinion of Staff, the proposed alterations are appropriate. The proposed renovations will preserve the historic footprint and exterior shell of the house and restore its historic appearance. The raising of the rear (south) and east side walls will be barely perceptible once it has been done and the siding installed. The new roof structure will not be visible due to its low slope, the cornice at the front and parapet at the rear. The proposed replacement siding and windows closely match the original features. While the side and rear windows may have originally been six-over-six, Staff is not opposed to their replacement with two-over-two, true divided light windows matching those on the front. Staff recommends the following conditions to ensure that important original features are retained:

1. That the existing transom at the front door be retained;
2. That the existing window trim at the front be retained with the top and bottom trim matching;
3. That the existing front siding be retained, if at all possible, or be replaced with German lap siding with a 5" reveal to match the existing as closely as possible, with Staff to approve the use and type of replacement siding prior to ordering or installing.

In addition, in conformance with the *Design Guidelines* for fences (p. 3), Staff recommends the following:

4. That the new fence at the rear be stained or painted;

Lastly, Staff notes the archaeology comments and recommends that they be included as a condition of the approval.

#### **IV. STAFF RECOMMENDATION:**

Therefore, Staff recommends approval of the Certificate of Appropriateness with the following conditions:

1. That the existing transom at the front door be retained;
2. That the existing front window trim be retained with the top and bottom trim matching;
3. That the existing front siding be retained, if at all possible, or be replaced with German lap siding with a 5" reveal to match the existing as closely as possible, with Staff to approve the use and type of replacement siding prior to ordering or installing.
4. That the new fence at the rear be stained or painted; and,
5. That the following statement must appear in the General Notes of all site plans so that on-site contractors are aware of the requirement:  
Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

## CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

### Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

### Historic Alexandria:

“No comment.”

### Alexandria Archeology:

- F-1 Tax records indicate that free African American households were located on this street face in 1810, 1830 and 1850; the block was part of the African American neighborhood known

as Uptown. During the Civil War, the area at the corner of Patrick and Queen Streets on this block contained stables for the Mounted Provost Guards. The G.M. Hopkins insurance map indicates that a structure was present on this lot by 1877. The property therefore has the potential to yield archaeological resources that could provide insight into military activities and residential life, perhaps relating to African Americans, in 19<sup>th</sup>-century Alexandria.

- R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The above statement must appear in the General Notes of all site plans so that on-site contractors are aware of the requirement.