

Docket Item #13
BAR CASE# 2005-0171

BAR Meeting
July 27, 2005

ISSUE: Addition to rear elevation
APPLICANT: Ninette Sadusky by Rich Markus
LOCATION: 910 Pendleton Street
ZONE: RB/Residential

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by the Code Enforcement Bureau (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Enforcement, Room 4200, City Hall, 703-838-4360 for further information.

STAFF RECOMMENDATION:

Staff recommends approval of the application as submitted.

I. ISSUE:

The applicant is seeking approval of a Certificate of Appropriateness for construction of a two story addition to be attached to the rear or south elevation of the house located at 910 Pendleton Street.

The project entails removal of an existing one story shed roofed addition of indeterminate age and building the new two story addition upon the same footprint as currently exists, the rear plane of which projects approximately 7'-6" from the rear elevation of the adjoining structure to the west. The new work would occupy the full width of the property which is 12'-3".

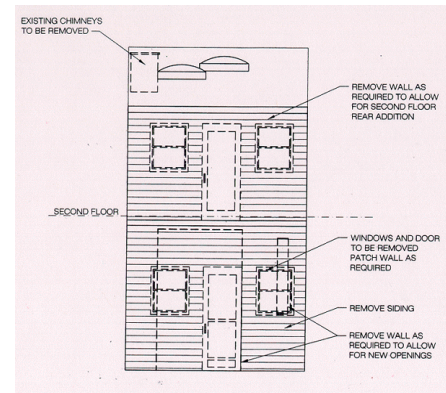


Figure 1 Existing rear elevation

The addition is designed as a shed roofed extension of the original long and low shed roof of the house, but with a reverse pitch. This is necessary in order to obtain sufficient headroom in the new space to be created at the second level. For comparison, existing ceiling height on the first floor is 8'-10", and that proposed for the second level is 10'-1" at the eave. The new high roof plane transition will not be visible from grade and the existing roof plane down to a new intermediate eave on the east side of the south elevation. An additional roof window is proposed for the original portion of the roof, and removal of one existing chimney is also proposed.

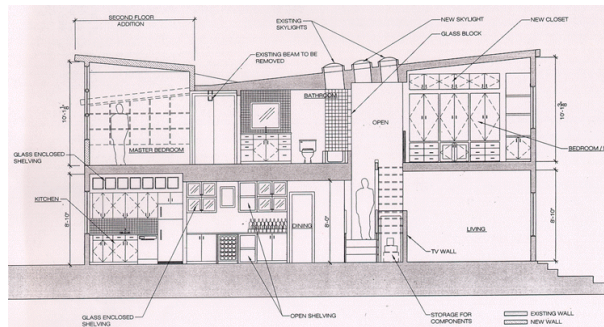


Figure 2 Section through side elevation

No work is proposed for the street elevation. A 10' wide portion of the new rear elevation will be clad in Hardiplank siding and will feature double French doors at grade and a paired casement wood window at the second level. Window and door surrounds as well as eave treatments are shown to be simple flat boards. The most distinctive feature of the new elevation is the proposed treatment of the wall surface below the extension of the original roof. This 2' section of wall is to clad in Hardiplank panels, punctuated by a stack of glass block at the lower level and by 3 individual blocks

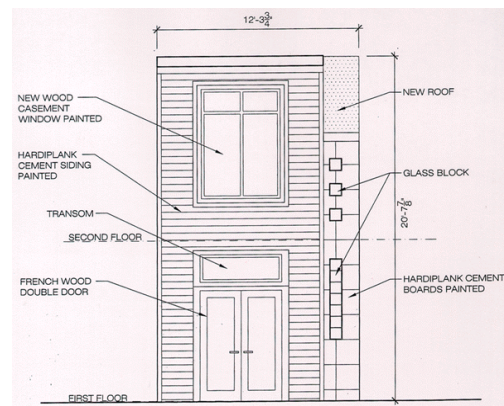


Figure 3 Rear elevation

at the upper level.

The rear of the house is visible from a public alley but is partially obscured by the 6' rear fence.

II. HISTORY:

Although this block of Pendleton St. was subdivided in the 1870's, the majority of the modest two story frame houses in this part of the block appear to date from any time in the 20 year period bracketing the turn of the 20th century. Most of the houses abut the street property line and have little decorative embellishment, other than accentuated architraves, some with roundel corner blocks, which could have been later improvements. Uniquely, the house at 910 Pendleton Street is recessed about 5'-6" from the street plane, creating a shallow entry "court. Other than a deep but relatively flat banded frieze, there is no other decorative treatment on the simple two bay wood clad façade.

III. ANALYSIS:

The proposal for new construction would occupy the existing footprint at grade and would add about 84 sq. ft. of new floor area at the second level. As noted above, the proposed juxtapositioning of shed roof forms of opposite pitch is accommodated by the insertion of a transitional plane or "cricket" at the new, higher mass of the second level addition, and by leaving a two foot section of the original roof plane and extending it on to the south wall eave.

Contextual analysis indicates that the new second level massing will rise about 3' above the south eave of the house to the west, an area currently occupied by a large masonry chimney at the roof and will project to the existing plane of the first floor addition at 910 Pendleton Street. The relationship of the new second level massing to the house to the east is mitigated by the 2' set back for the roof as described above. The resulting altered "skyline" of 910 Pendleton Street is consistent in character and scale with the extended "alleyscape" of the entire row of frame houses.

The proposed architectural treatment of the new façade is conventional, and perfectly acceptable in most respects. The major exception is the glass block/panel treatment proposed for the 2' wide section of wall below the original roof extension. This design is modest yet striking in the simplicity and crispness of the use of materials to clearly differentiate new work from old in ways seldom seen or executed in historic contexts. It is highly worthy of acceptance in this discrete location.

IV. STAFF RECOMMENDATION:

Therefore, Staff recommends approval of the application as submitted.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.

- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.

- C-4 A soils report must be submitted with the building permit application.

- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).

- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).

- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.

- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.

- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

No comment.