

Docket Item # 5
BAR CASE # 2009-0233

BAR Meeting
October 28, 2009

ISSUE: Permit to Demolish
APPLICANT: Daniel K. Cushing
LOCATION: 913 Oronoco Street
ZONE: RM

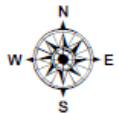
STAFF RECOMMENDATION: Staff recommends approval of the application as submitted.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR CASE #2009-0233, 0234 10/28/2009



I. ISSUE:

The applicant is requesting a Permit to Demolish in order to remove an existing concrete block wall that divides the two properties located at 913 Oronoco Street and stands as a barrier between 913 and the property to the North, 510 North Alfred Street. The applicant is requesting a permit to demolish due to the fact that the wall is in a state of disrepair and is posing a safety hazard to 510 North Alfred Street. The wall is 10.5 feet tall and 35 feet long; the total area of proposed demolition is 367.5 square feet.

II. HISTORY:

913 Oronoco Street is a unit in a complex constructed at the corner of Oronoco and North Alfred Street circa 1978.

The only prior BAR case for this property was heard before the Parker Gray Board on September 26th of 2007, at which time the Board approved after-the-fact replacement windows.

III. ANALYSIS:

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (5) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria are met. The wall is not historic and its design is neither noteworthy nor unique. Furthermore, according to the *Design Guidelines*, “fences, garden walls and gates should be appropriate in materials, design and scale to the period and character of the structure they surround.” Staff finds that the existing concrete block wall is not appropriate in regard to materials, design, or scale, and therefore removal of the wall will be an improvement to the property and the historic district.

IV. STAFF RECOMMENDATION: Staff recommends approval of the application as submitted.

STAFF:

Meredith Kizer, Historic Preservation Planner, Planning & Zoning
Stephen Milone, Division Chief, Zoning and Land Use Services

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

C-1 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.

C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

Historic Alexandria:

No comments received.

VI. IMAGES

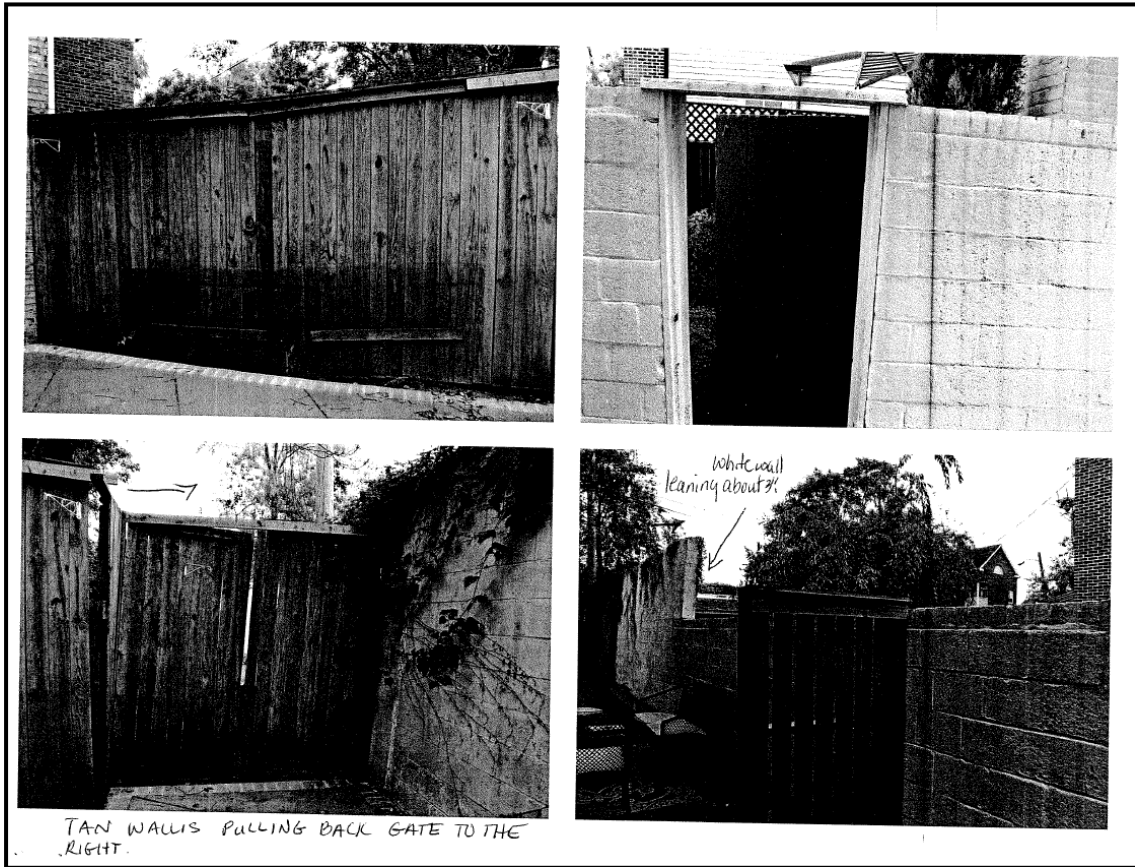


Figure 1. Photograph of existing wall.

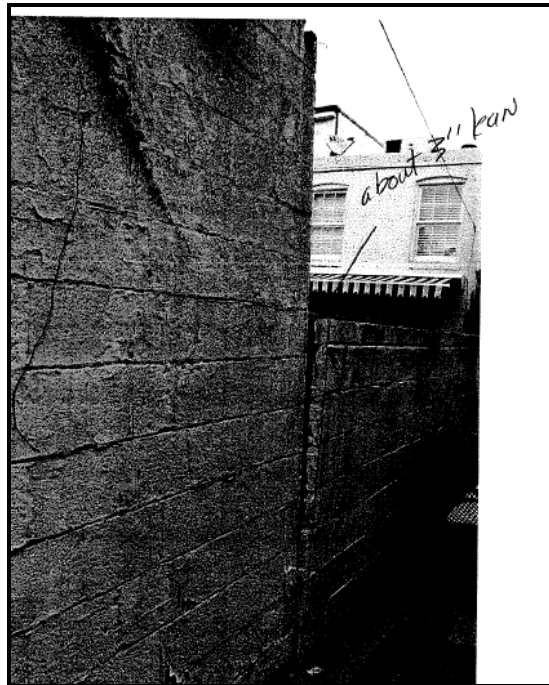


Figure 2. Photograph of existing wall.