

Docket Item # 2  
BAR CASE # 2009-0058

BAR Meeting  
November 18, 2009

**ISSUE:** Demolition/Encapsulation

**APPLICANT:** Alamin and Nadia Negash

**LOCATION:** 702 North Patrick Street

**ZONE:** RB/Residential

---

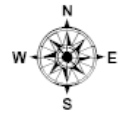
**STAFF RECOMMENDATION:** Staff recommends approval of the application for Permit to Demolish/Encapsulate as submitted.

\*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

\*\*BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**BAR CASE #2009-0058, 0059 11/18/09**



**Note:** This docket item requires a roll call vote.

**I. ISSUE:**

The applicant is requesting approval of a Permit to Demolish/Encapsulate in order to construct a two-story rear addition at 702 North Patrick Street. The total area of proposed demolition is approximately 270 square feet. The proposed demolition will not impact the entire rear elevation, as the proposed addition will be off-set approximately 8 feet from the outer wall on the north side of the current rear elevation. The current width of the rear elevation is approximately 20 feet.

**II. HISTORY:**

702 North Patrick Street, is a two-story frame townhouse constructed in 2000 by Habitat for Humanity (BAR Case #2000-0101). The conditions of approval were that:

1. The mansard roof be pitched at 20 to 25 degrees from vertical;
2. The front façade be clad with wood siding;
3. If fiber cement siding is to be used on the other facades, it be smooth and without any texture, and be installed so that no nailheads are visible;
4. The front mansard is clad with either stamped decorative metal shingles or seamed sheet metal.
5. The cornice details, including the design of the brackets, be approved by Staff; and
6. The gas meter be painted to match the color of the wall on which it is mounted.

On May 13, 2000, City Council granted Special Use Permit (SUP) #2000-0037 for construction of a new single-family house and a parking reduction to Habitat for Humanity to reduce the number of required parking spaces on this residential lot from two to one.

On June 11, 2009, the Board of Zoning Appeals denied the applicant's request for an open space reduction to construct a two-story addition (BZA Case #2009-0008). The variance requested a reduction from the required minimum 800 square feet to 680 square feet of open space. Although Planning & Zoning Staff recommended approval of the variance, the Board of Zoning Appeals denied the request by a vote of 3-3. The Board felt it was not within their purview to grant a variance since they believed the issue of open space was likely discussed in the original SUP approved by City Council.

The owner's second effort to resolve their open space requirement in order to construct a two-story addition was to obtain the needed open-space through a parking reduction SUP application. This SUP proposed altering the parking requirement for the site from one space to zero. The proposal received a favorable recommendation from the Planning Commission at a hearing on October 6, 2009. The City Council approved the Planning Commission's recommendations 6-0 on their consent calendar on October 17, 2009. The deletion of the existing parking space provided the required open space needed to meet the Zoning Ordinance minimum of 800 square feet.

**III. ANALYSIS:**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (5) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria are met for the demolition of the requested portion of the rear wall. This contemporary townhouse at 702 N. Patrick Street will retain its original BAR approved design integrity as the area of demolition is located on only a portion of the rear of the building.

Views of the rear of the house where the demolition is proposed are limited to those visible from the 22 foot emergency vehicle easement. The easement is accessed from Wythe Street and provides access to the properties on North Patrick Street. The affected area is not visible from North Patrick Street.

Staff recommends approval of the application as submitted.

**IV. STAFF RECOMMENDATION:**

Staff recommends approval of the application for Permit to Demolish/Encapsulate as submitted.

**STAFF:**

Michele Oaks, Historic Preservation Planner, Planning & Zoning  
Stephen Milone, Division Chief, Zoning and Land Use Services

## **V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

### Code Administration:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 Additions and Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Transportation and Environmental Services:

R-1 The building permit must be approved and issued prior to the issuance of any demolition permit. (T&ES)

Historic Alexandria:

R-1. Approve.

Alexandria Archaeology:

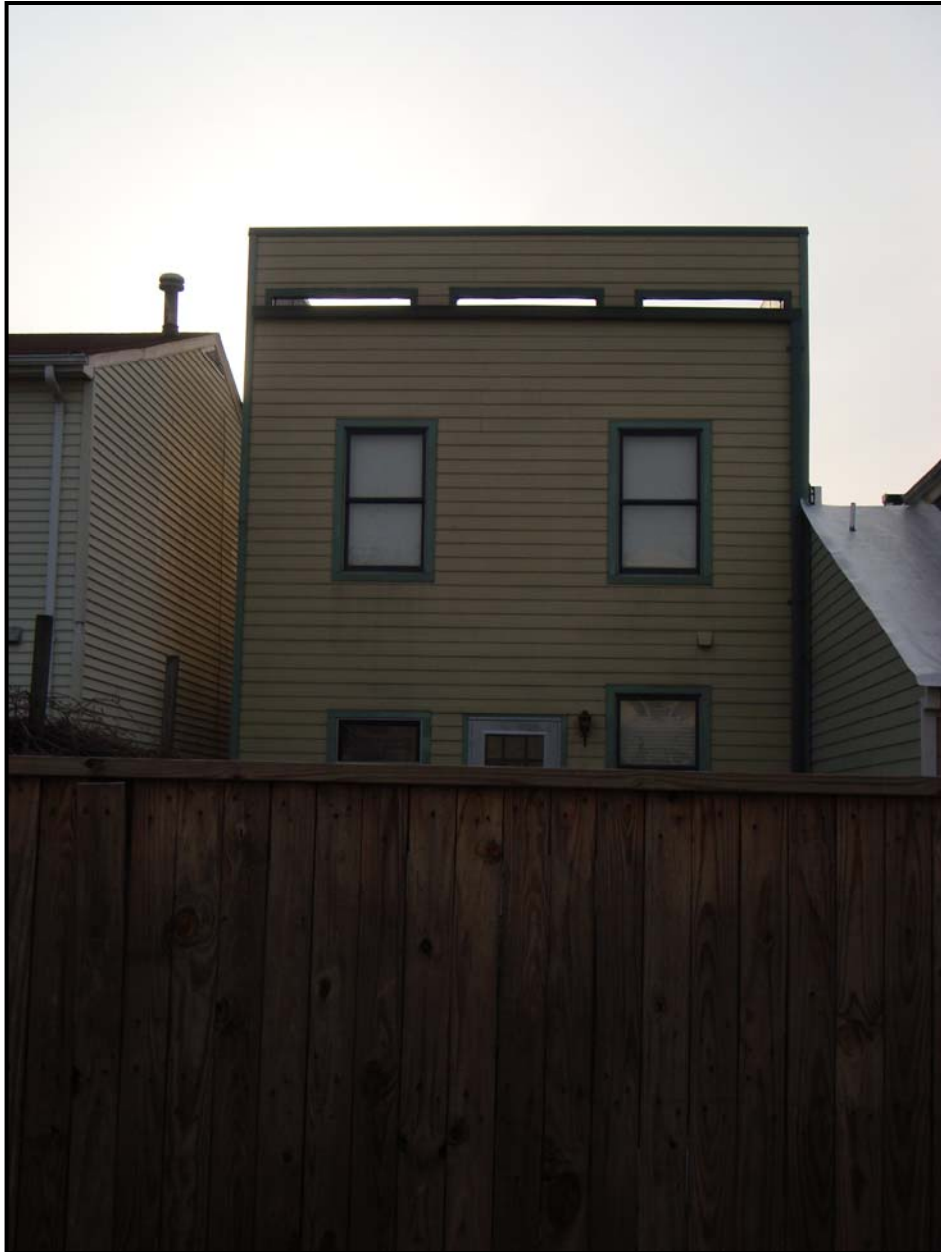
F-1 There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required.





**Figure 2: Photo showing of Front Elevation of 702 North Patrick Street**





**Figure 3: Photo showing Rear Elevation of 702 North Patrick from Alley**



**Figure 4: Rear Elevation View of 702 North Patrick Street from inside fenced yard**



**Figure 5: Photo taken from emergency alley entrance on Wythe Street**



**Figure 6: Photo showing rear elevations of buildings that flank 702 North Patrick Street**



**Figure 7: Photo showing rear elevations of buildings that flank 702 North Patrick Street**



**Figure 8: Photo from emergency alley looking toward Wythe Street**

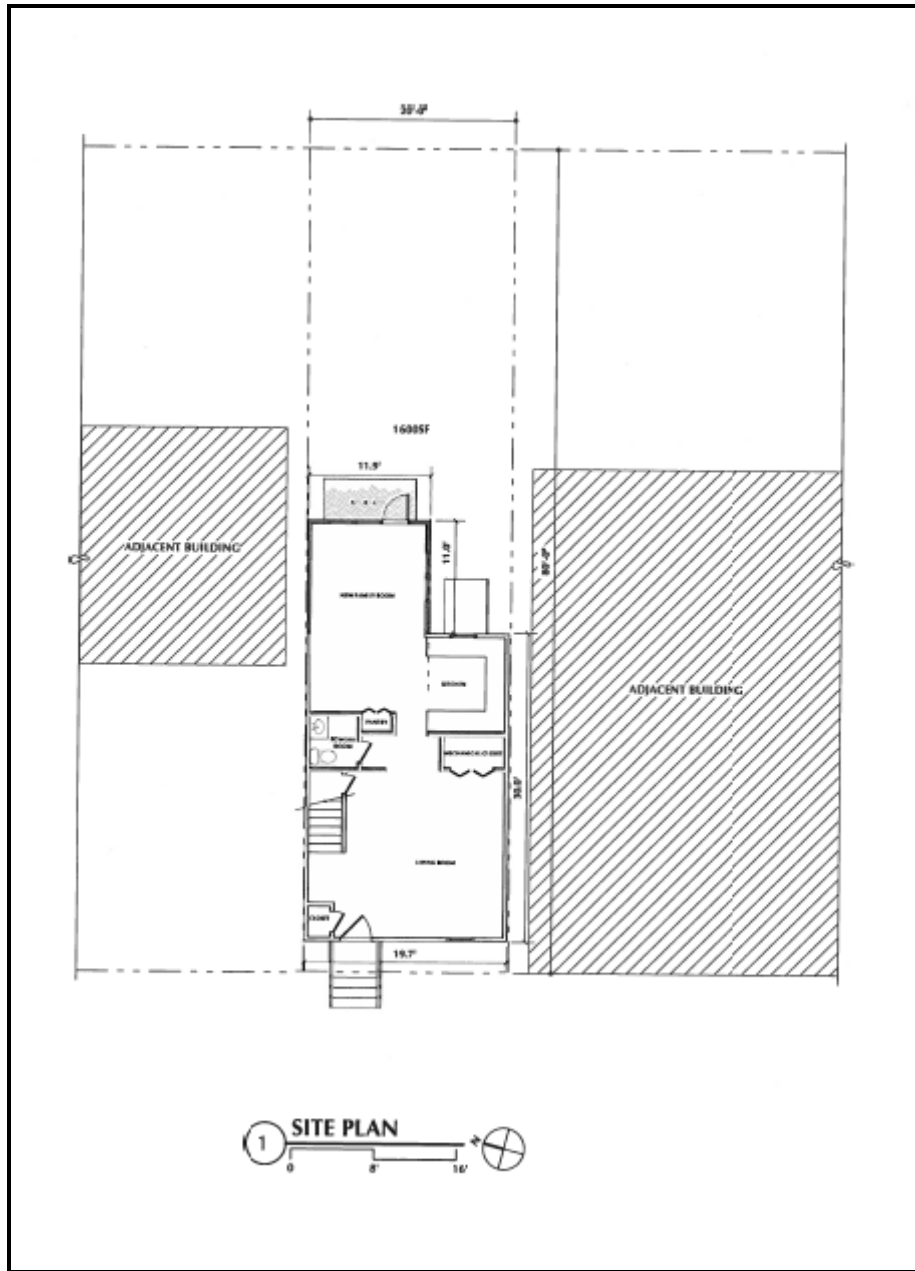
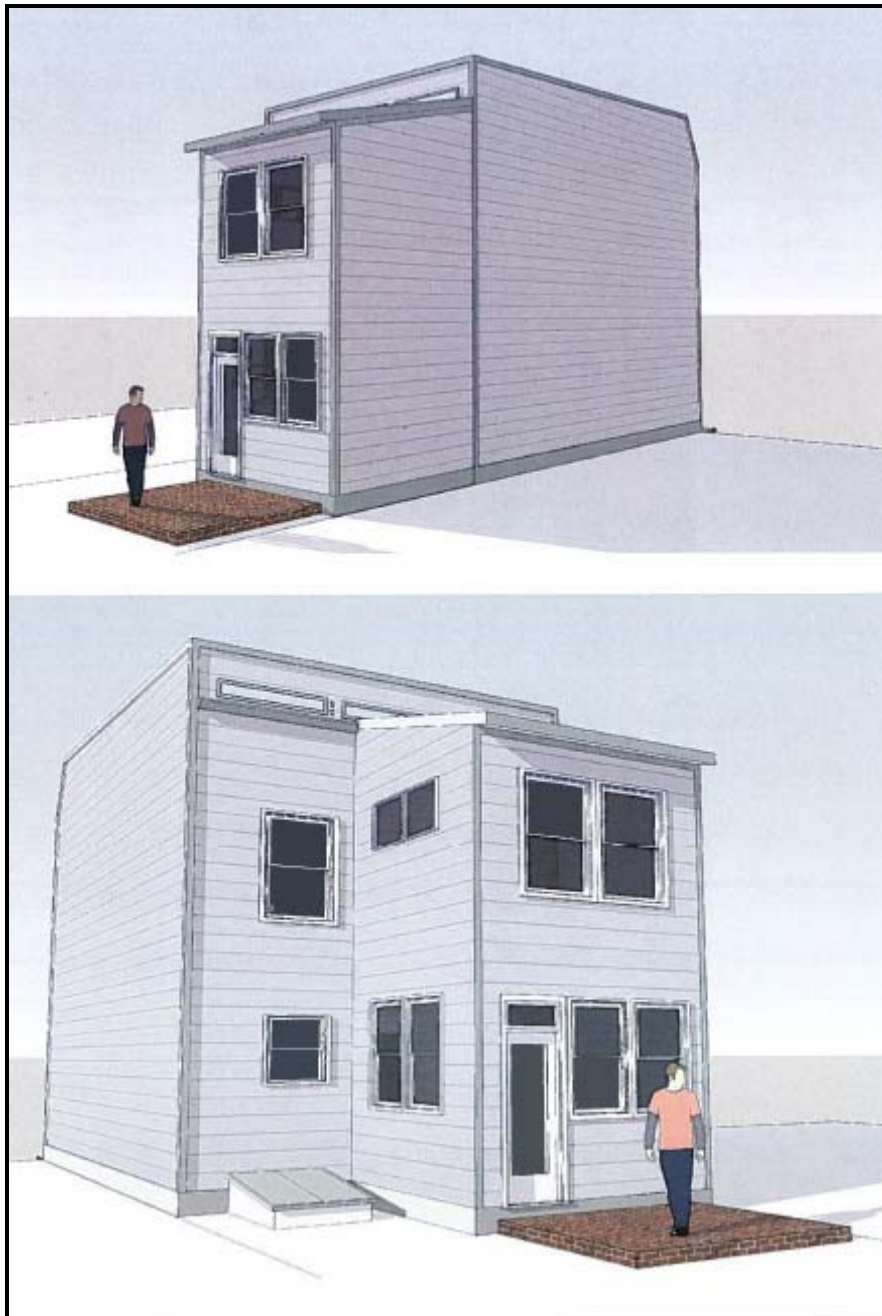


Figure 9: Site Plan showing location of proposed two-story addition and flanking buildings



**Figure 10: Perspective of Proposal**



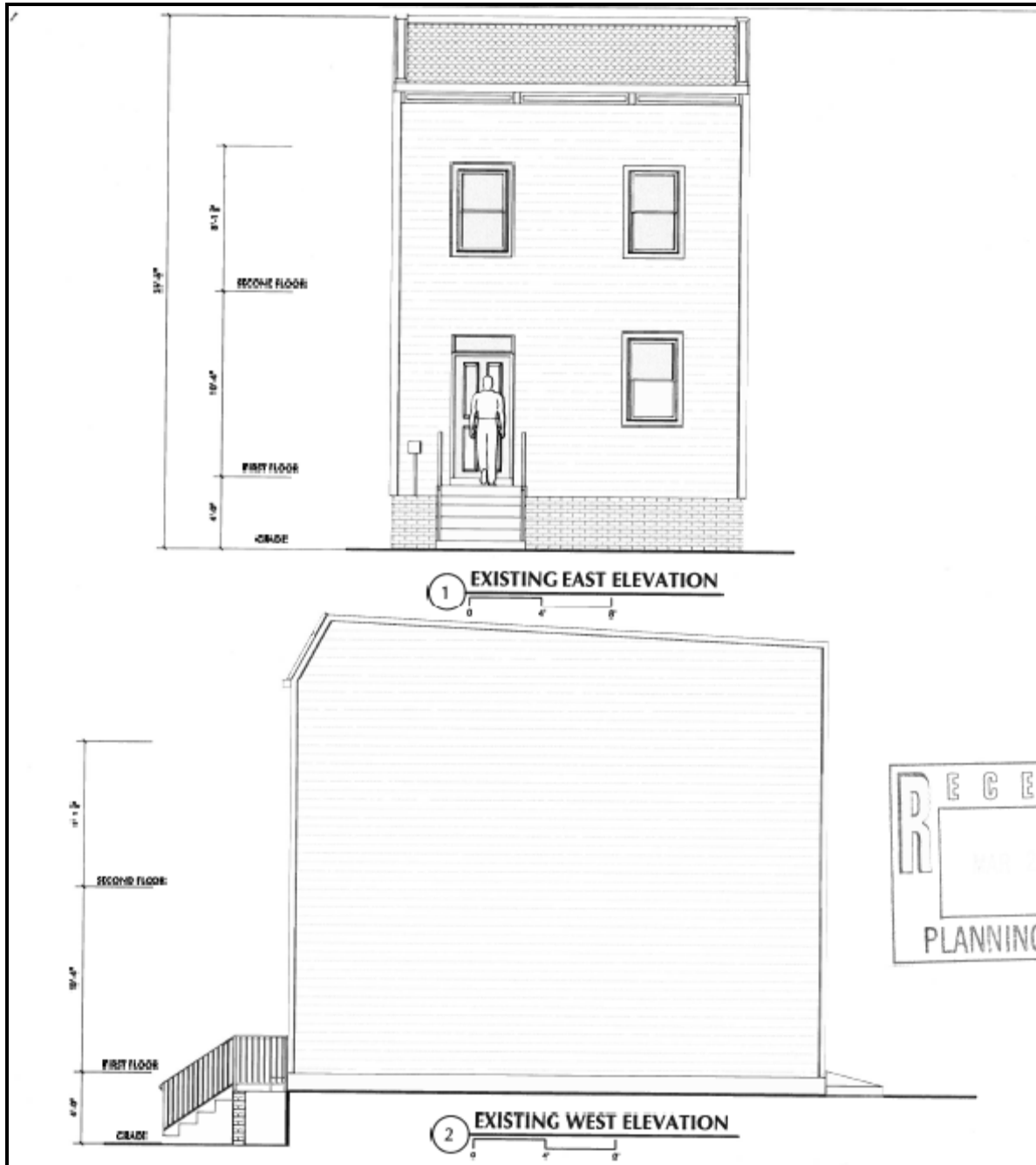


Figure 11: Existing Elevations

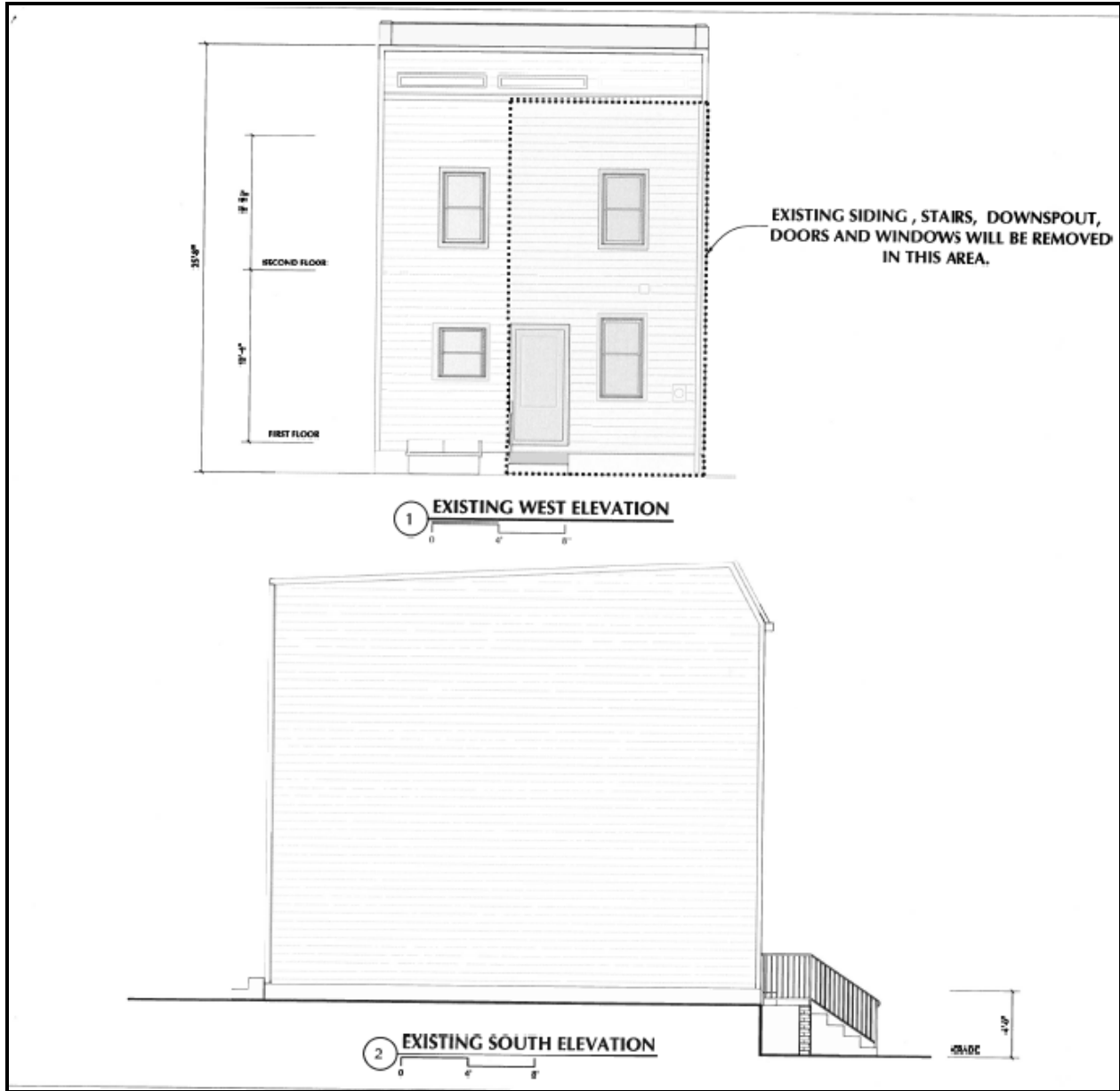


Figure 12: Existing Elevations

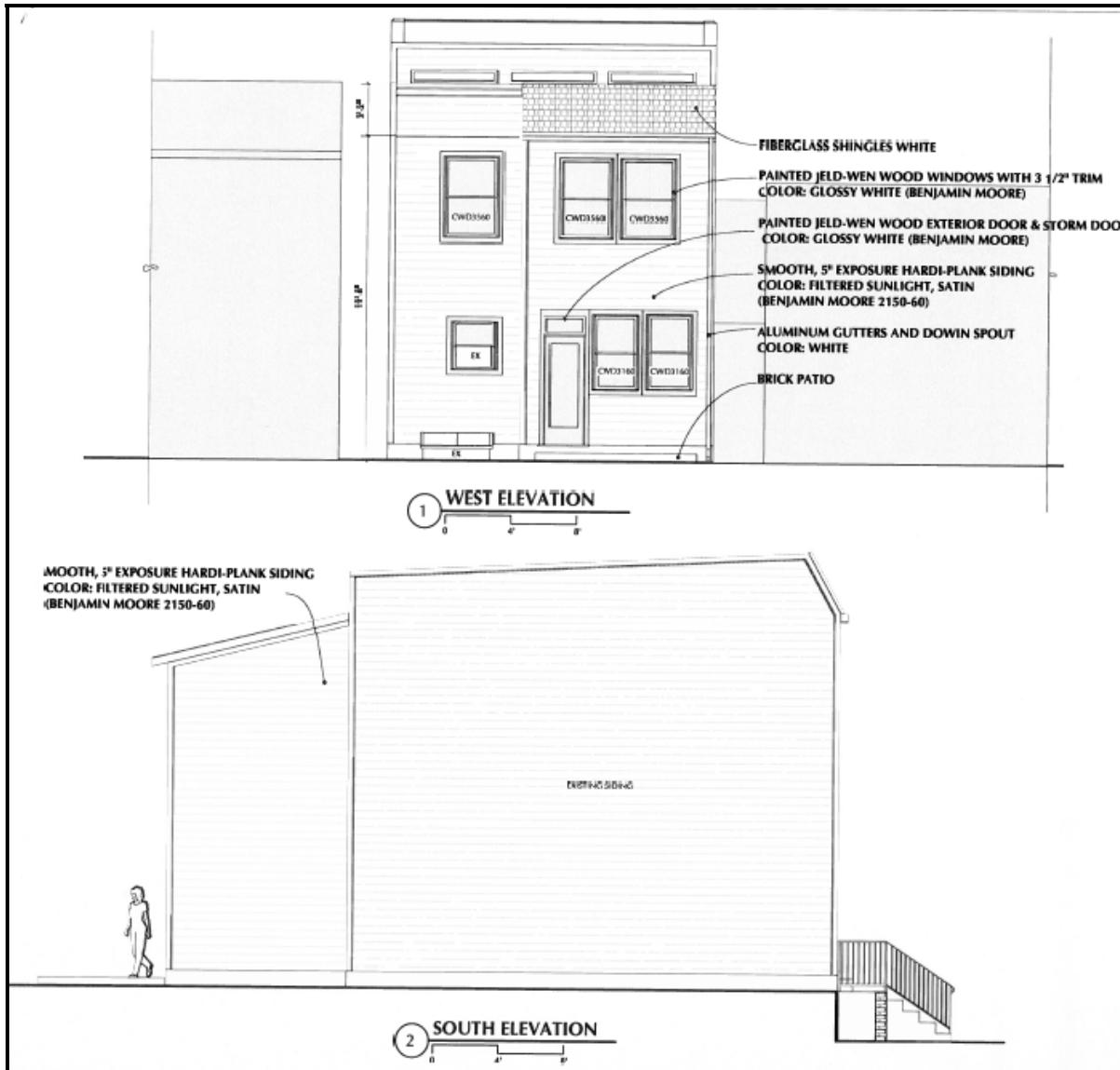


Figure 13: Proposed Elevations



Figure 14: Proposed Floor Plans