

Docket Item # 3
BAR CASE # 2009-0059

BAR Meeting
November 18, 2009

ISSUE: Addition & Alterations
APPLICANT: Alamin and Nadia Negash
LOCATION: 702 North Patrick Street
ZONE: RB/Residential

STAFF RECOMMENDATION: Staff recommends approval of the application for Certificate of Appropriateness with the conditions that:

1. That the cement-fiber siding is smooth and the nails not show in the installation.
2. That access to the rear alley must be maintained at all times during construction.

*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



Note: The Permit to Demolish, BAR Case #2009-0058, must be approved before this item may be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for a two-story rear addition at 702 North Patrick Street.

The addition will have a shed roof form with a west sloping roof extending from the southwestern corner of the rear elevation. The footprint will measure 11.9 feet wide and 11 feet deep and will be two stories in height (19.8 feet to the cornice). The wall of its south elevation will be an extension of the existing wall, that is located on the south property line, and the north elevation's wall will be recessed 7.8 feet from the existing side elevation and 8 feet from the north property line. The proposed design does not extend beyond the rear elevations of the flanking structures. The addition will contain 260 gross square feet of living space.

The west elevation of the addition will contain a single-light wood door with transom, and a set of coupled, one-over-one, double-hung wood windows on both the first and second floors. The height of the addition has been designed to retain the pierced parapet on the original massing which was constructed to screen rooftop HVAC equipment. A portion of the addition will be visible from the 22 foot emergency vehicle easement. This easement, accessed from Wythe Street, provides access to the properties on North Patrick Street. Oblique views of small portions of the addition may be visible from Wythe Street and North Patrick Street beyond the building at 700 North Patrick Street.

The north elevation of the addition will be one-bay wide, with a set of coupled, double-hung one-over-one wood windows on the first floor and a pair of slider wood windows on the second floor.

The wall of the south elevation is offset from the adjacent building's existing wall by only two feet. There are no proposed openings on this elevation.

The addition will be clad in a smooth finish, cement-fiber siding with a five inch (5") reveal, which will match the side and rear elevations of the house. The roof will be constructed of a white fiberglass shingle to complement the existing stamped metal roof on the front elevation. The gutters will be constructed of painted metal and contain an ogee profile. The new wood windows and doors will be manufactured by Jeld-Wen and painted a glossy white.

II. HISTORY:

702 North Patrick Street, is a two-story frame townhouse constructed in 2000 by Habitat for Humanity (BAR Case #2000-0101). The conditions of approval were that:

1. The mansard roof be pitched at 20 to 25 degrees from vertical;
2. The front façade be clad with wood siding;
3. If fiber cement siding is to be used on the other facades, it be smooth and without any texture, and be installed so that no nailheads are visible;
4. The front mansard is clad with either stamped decorative metal shingles or seamed sheet metal.

5. The cornice details, including the design of the brackets, be approved by Staff; and
6. The gas meter be painted to match the color of the wall on which it is mounted.

On May 13, 2000, City Council granted Special Use Permit (SUP) #2000-0037 for construction of a new single-family house and a parking reduction to Habitat for Humanity to reduce the number of required parking spaces on this residential lot from two to one.

On June 11, 2009, the Board of Zoning Appeals denied the applicant's request for an open space reduction to construct a two-story addition (BZA Case #2009-0008). The variance requested a reduction from the required minimum 800 square feet to 680 square feet of open space. Although Planning & Zoning Staff recommended approval of the variance, the Board of Zoning Appeals denied the request by a vote of 3-3. The Board felt it was not within their purview to grant a variance since they believed the issue of open space was likely discussed in the original SUP approved by City Council.

The owner's second effort to resolve their open space requirement in order to construct a two-story addition was to obtain the needed open-space through a parking reduction SUP application. This SUP proposed altering the parking requirement for the site from one space to zero. The proposal received a favorable recommendation from the Planning Commission at a hearing on October 6, 2009. The City Council approved the Planning Commission's recommendations 6-0 on their consent calendar on October 17, 2009. The deletion of the existing parking space provided the required open space needed to meet the Zoning Ordinance minimum of 800 square feet.

III. ANALYSIS:

The proposed addition complies with the RB requirements of the Zoning Ordinance. The existing house is built on a substandard lot for the RB zone. The RB zone ordinarily requires a minimum lot size of 1,980 square feet. However, pursuant to Section 3-707(B) of the Zoning Ordinance, any lot in the RB zone recorded prior to December 28, 1951 may be developed with a single-family residence and accessory structures at the lot size shown on the recorded plat. The subject lot contains 1,600 square feet and was recorded prior to 1951. Finally, lots in the RB zone are required to provide 800 square feet of open space no matter what size the lot may be. This is different from most other residential zoning districts in the City which require a proportional open space – usually a percentage of the total lot area. The applicant's lack of sufficient open space was resolved with their City Council parking reduction approval on October 17, 2009. With the deletion of the existing parking space, the applicant was able to convert the parking space into open space and meet their open space requirement.

The proposed addition at 702 North Patrick Street is designed to be “respectful of the existing structure”, by “making use of [its] design vocabulary” as recommended in the *Design Guidelines* for residential additions. Also, in keeping with the *Guidelines*, the addition “echo[s] the design elements of the existing structure” yet is designed to be setback eight feet from the north property line, “clearly distinguishable from the original structure.” The design approach for the rear addition provides for a separate and distinct volume, which minimally impacts the original massing, and retains the unique design elements of the rear façade.

It has generally been the Board's practice to approve synthetic building materials, such as fiber-cement siding, only on new additions or infill construction projects within the historic district. When the original structure was constructed in 2000, wood siding was required on the front elevation; however, fiber cement siding was permitted on the side and rear elevations. In the opinion of Staff, the applicant's request to utilize fiber cement siding for this project is consistent with the Board's previous decisions and the adopted fiber cement policy. However, in keeping with the Board's policy for fiber cement siding, it is recommended that the siding is smooth and the nails not show in the installation.

While single-glazed, wood windows are preferable, the *Design Guidelines* and the Board generally support double pane, insulated, wood windows and doors on new construction or in areas with limited visibility, both of which apply in this case. Therefore, Staff finds that the windows and doors are appropriate for the proposed application.

Because access to the rear yard is limited to the 22 foot emergency vehicle alley at the rear of the property, the applicant is reminded that access to the alley must be maintained at all times during construction.

IV. STAFF RECOMMENDATION: Staff recommends approval of the application for Certificate of Appropriateness with the conditions that:

1. That the cement-fiber siding is smooth and the nails not show in the installation.
2. That access to the rear alley must be maintained at all times during construction.

STAFF:

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Stephen Milone, Division Chief, Zoning and Land Use Services

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S – suggestion F- finding

Code Administration:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 Additions and Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Transportation and Environmental Services:

F-1 An approved grading plan may be required at the time of building permit application. Insufficient information has been provided to make that determination at this time.

In summary, City Code Section 8-1-22(d) requires that a grading plan be submitted to and approved by T&ES prior to the issuance of building permits for improvements involving:

- the construction of a new home;
- construction of an addition to an existing home where either
- the addition exceeds the area of the existing building footprint by 100% or more; or
- the construction of the addition results in less than 50% of the existing first floor exterior walls, in their entirety, remaining;
- changes to existing grade elevation of 1-foot or greater;
- changes to existing drainage patterns;
- land disturbance of 2,500 square feet or greater.

Questions regarding the processing of grading plans should be directed to the T&ES Site Plan Coordinator at (703) 838-4318. Memorandum to Industry No. 02-08 was issued on April 28, 2008 and can be viewed online via the following link.
<http://alexandriava.gov/uploadedFiles/tes/info/gradingPlanRequirements.pdf>

RECOMMENDATIONS

- R-1 The building permit plans shall comply with requirements of City Code Section 8-1-22 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R-4 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R-5 An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)

R-6 Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)

Historic Alexandria:

R-1 Approve.

Alexandria Archaeology:

F-1 There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required.

VI. IMAGES



Figure 1: Plat showing location of proposed two-story addition



Figure 2: Photo showing of Front Elevation of 702 North Patrick Street



Figure 3: Photo showing Rear Elevation of 702 North Patrick from Alley



Figure 4: Rear Elevation View of 702 North Patrick Street from inside fenced yard



Figure 5: Photo taken from emergency alley entrance on Wythe Street



Figure 6: Photo showing rear elevations of buildings that flank 702 North Patrick Street



Figure 7: Photo showing rear elevations of buildings that flank 702 North Patrick Street



Figure 8: Photo from emergency alley looking toward Wythe Street

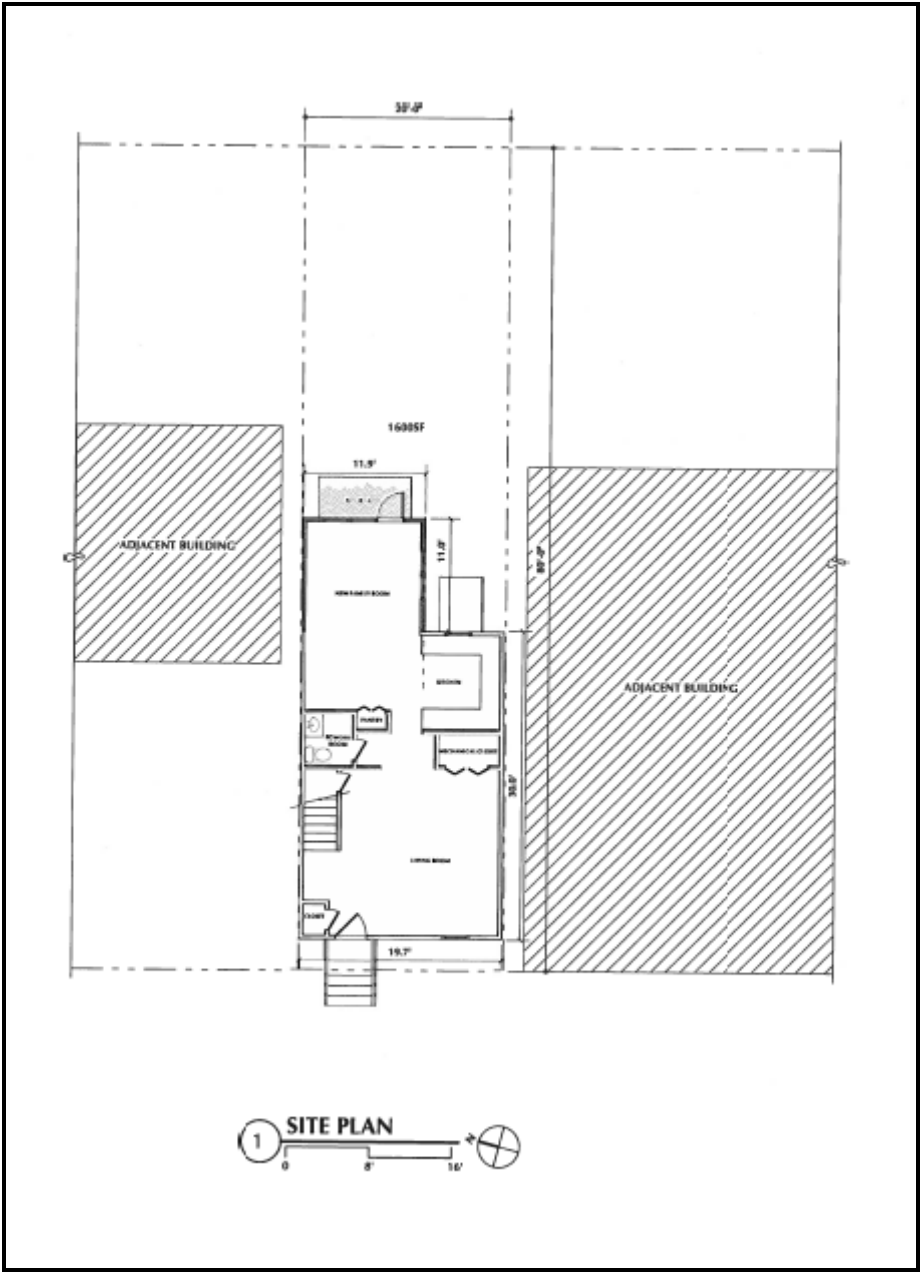


Figure 9: Site Plan showing location of proposed two-story addition and flanking buildings

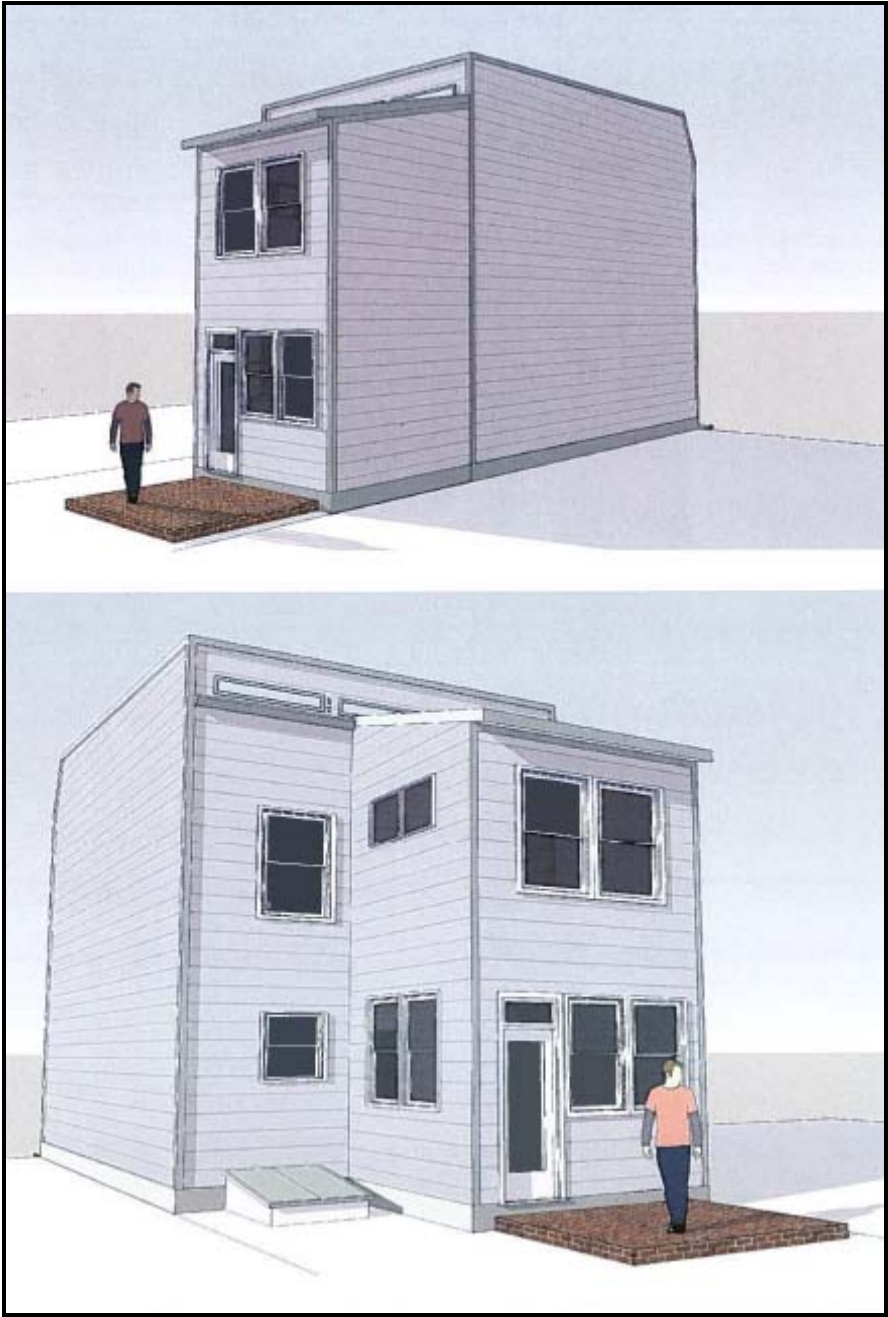


Figure 10: Perspective of Proposal

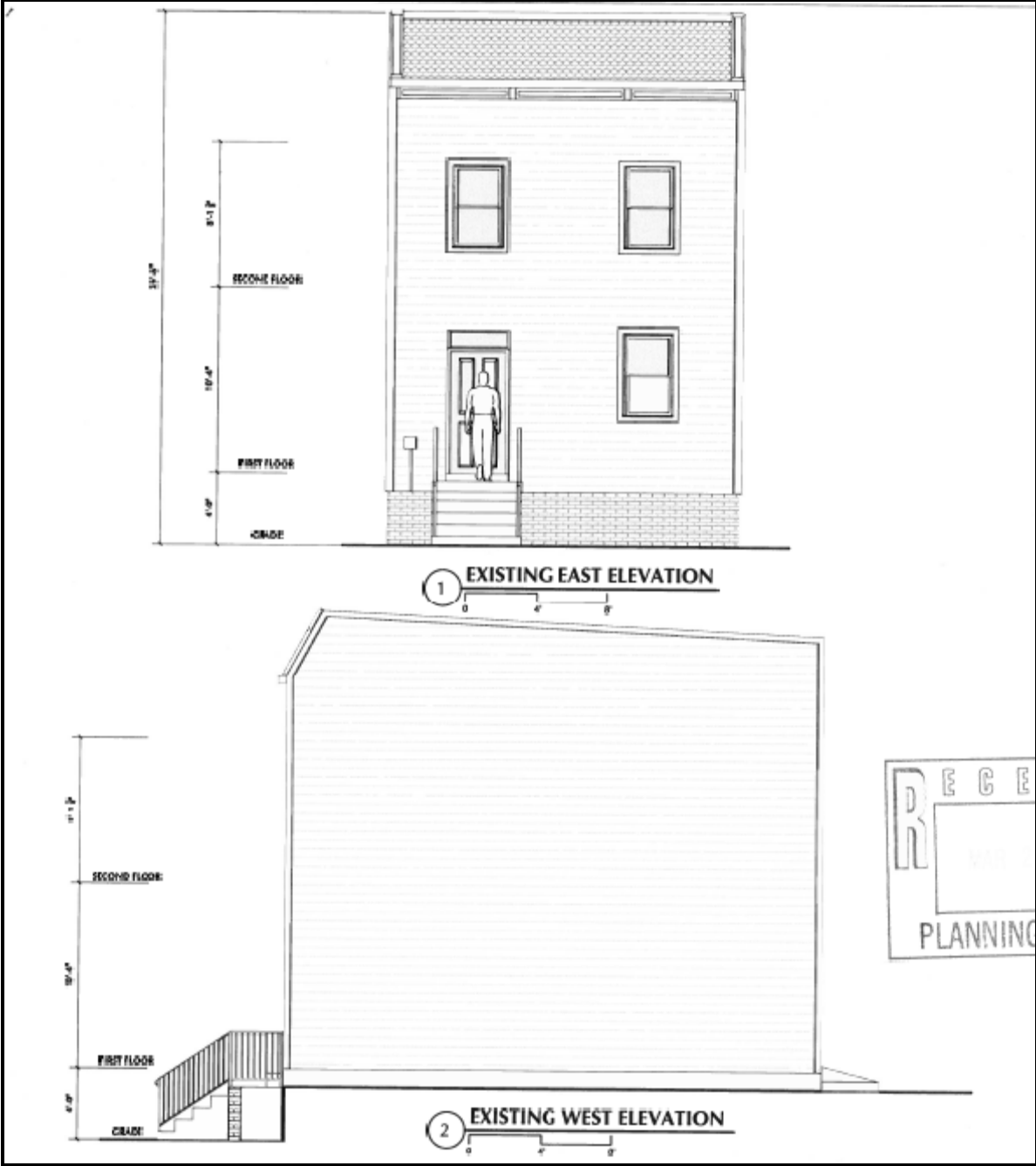


Figure 11: Existing Elevations

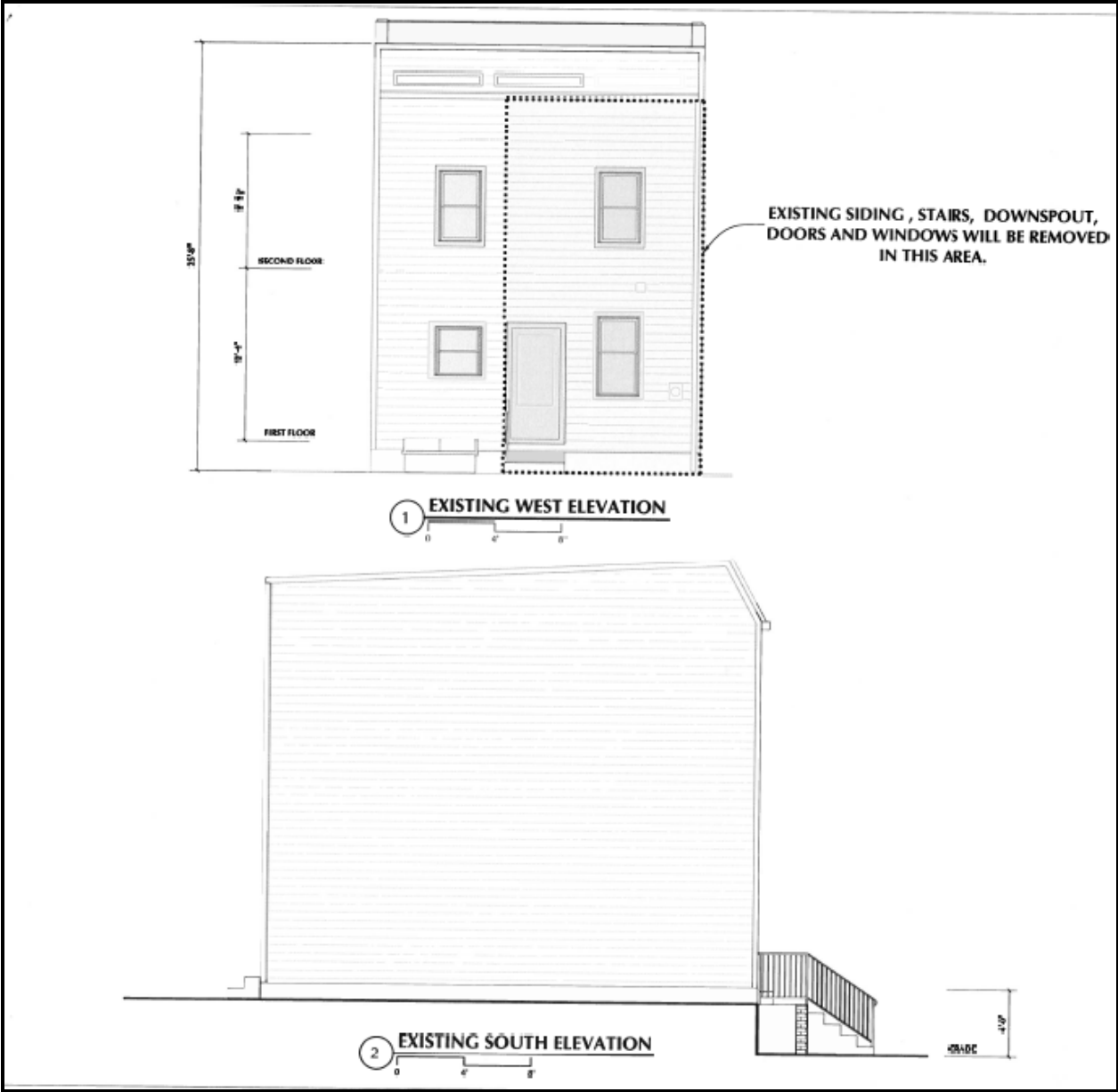


Figure 12: Existing Elevations

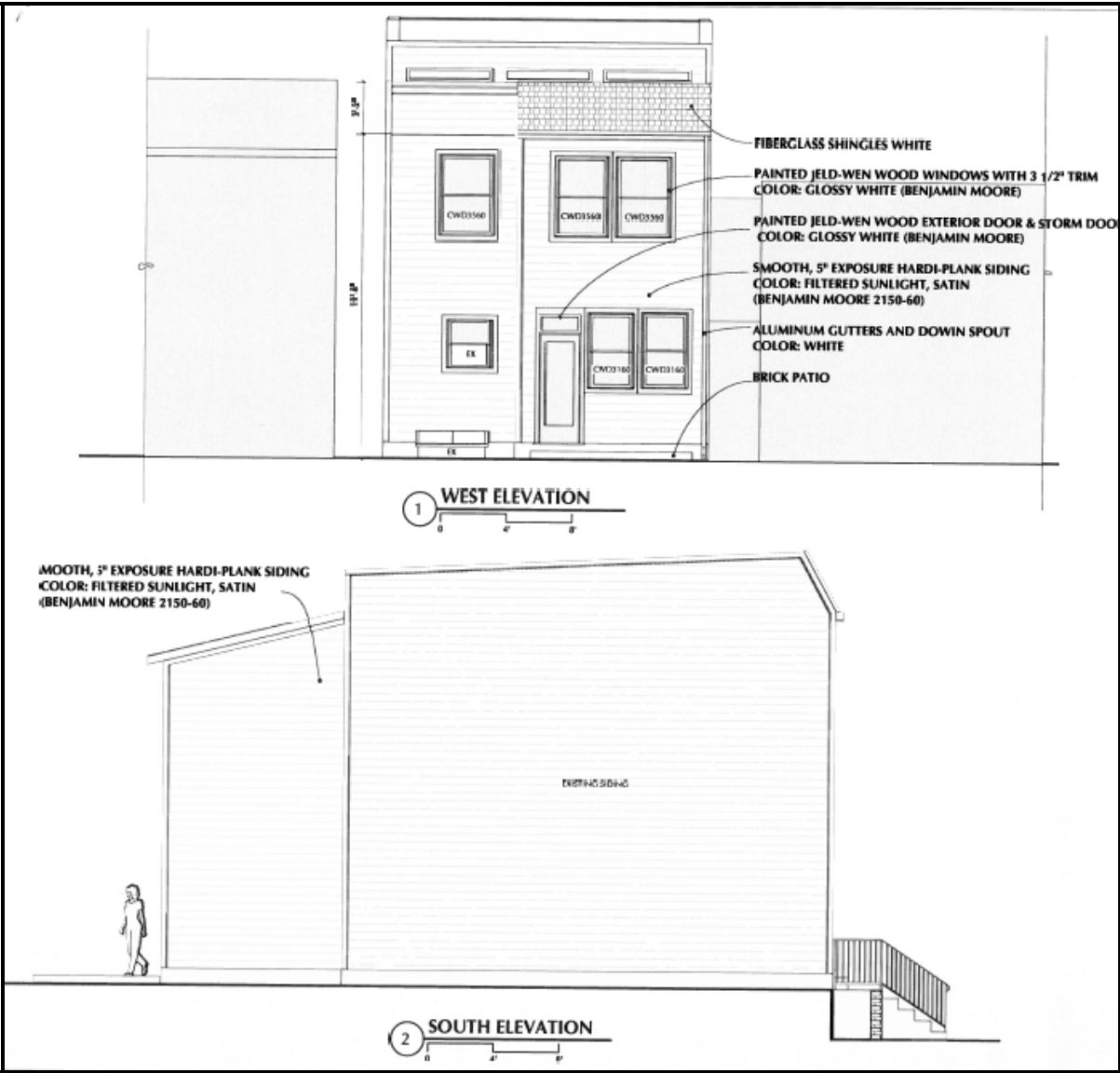


Figure 13: Proposed Elevations



Figure 14: Proposed Floor Plans