

Docket Item # 2  
BAR CASE # 2009-0269

BAR Meeting  
December 9, 2009

**ISSUE:** After-the-fact approval of alterations

**APPLICANT:** 211 West LLLP

**LOCATION:** 211 North West Street

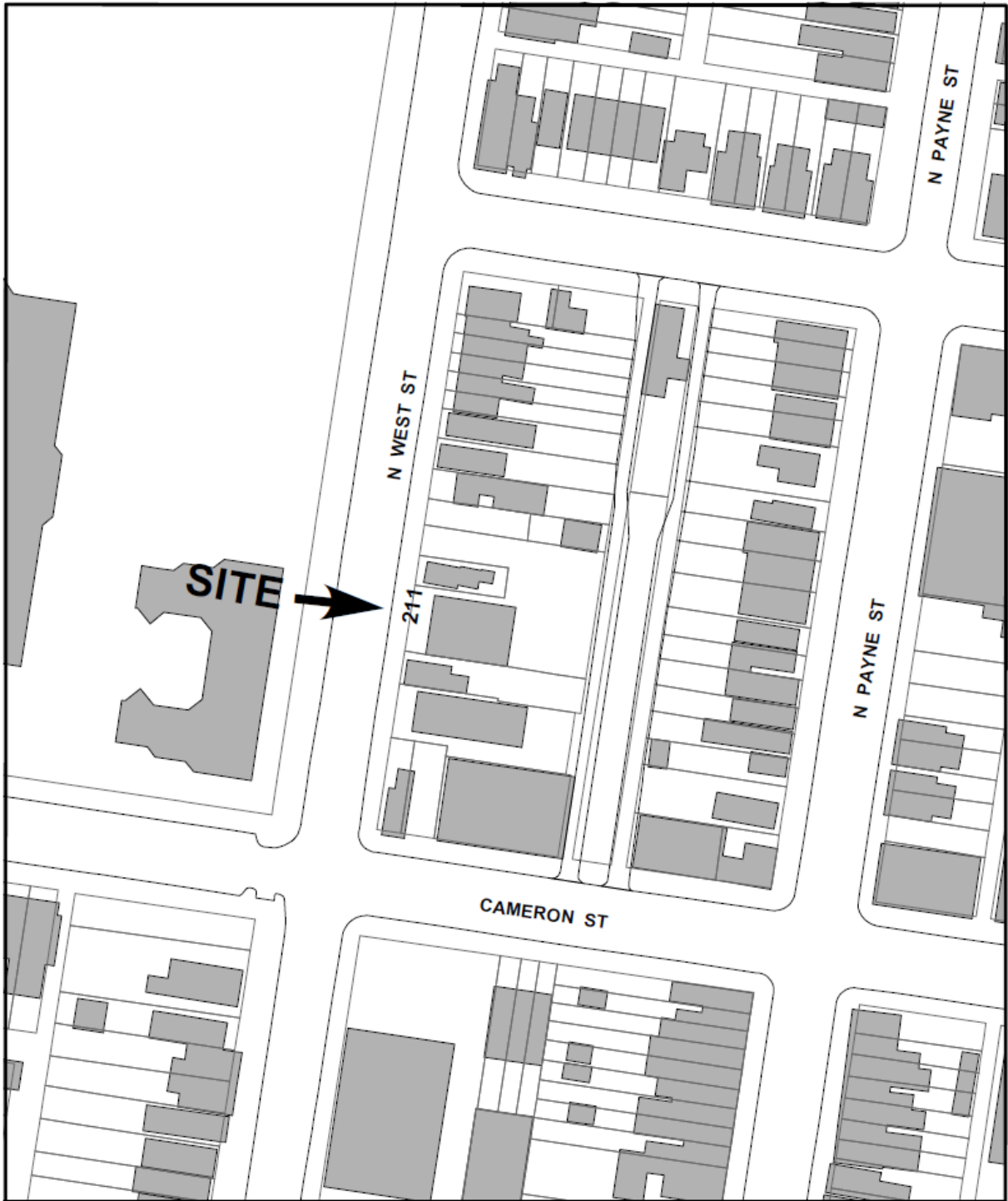
**ZONE:** RB/Residential

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**STAFF RECOMMENDATION:** Staff recommends approval of the application for after-the-fact alterations as submitted.

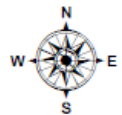
**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of BAR approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**BAR CASE #2009-0269**

**12/9/2009**



**I. ISSUE:**

The applicant is requesting after-the-fact approval for alterations made at 229 North West Street. Although the application does not indicate that the application is for after-the-fact approval, Staff notes that the application indicates the creation of a new opening in the brick wall. A site visit confirms that the opening has already been created and a new door installed. In addition, Staff spoke with the contractor who confirmed that a new opening had been created.

The after-the-fact approval is for the following:

- Creation of a new opening (measuring approximately 40 inches by 82 inches) in existing brick wall on the north elevation; and
- Installation of a glass and aluminum, commercial-style exterior door.

**II. HISTORY:**

According to City real estate records, this three-story brick apartment building was constructed circa 1964. The building first appears on the Sanborn Fire Insurance Maps from 1965.

In August 2009, the applicant filed an application for a new fence in the rear yard area at this property (BAR Case # 2009-0196). This application was withdrawn prior to hearing by the applicant.

**III. ANALYSIS:**

The alterations in this application comply with Zoning Ordinance requirements.

In general, Staff supports the alterations submitted as part of this application. The newly-created opening is appropriate for the style and character of this building. Further, the opening, while visible from the public right-of-way, is not located on the primary façade. In addition, the style of door, while generally not appropriate in many instances throughout the district, is acceptable in this case due to the age and style of the building. Further, the new door coordinates with the existing side entrance door.

Staff notes that these alterations were completed prior to BAR approval or the issuance of a building permit. The applicant had applied for a building permit that Staff placed on hold pending submission of an application to the BAR, and BAR review and approval.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application for after-the-fact alterations as submitted.

**STAFF:**

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning  
Stephen Milone, Division Chief, Zoning and Land Use Services, Planning and Zoning

## **V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

### Code Enforcement:

- C-1 Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC). **Acknowledged by applicant.**
  
- C-2 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided (USBC 704.5).
  
- C-3 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.

### Historic Alexandria:

No comments received.

## VI. IMAGES



**Figure 1. Photographs of portion of front elevation as viewed from North West Street, existing aluminum and glass entrance door, and newly-installed aluminum door in new opening.**

NG & 704M  
 - 9 0000  
 E I V E

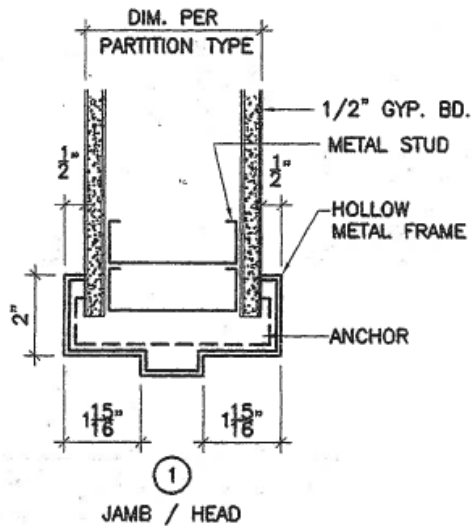
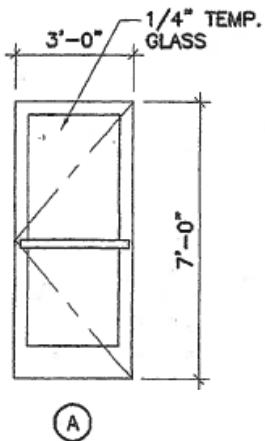
### DOOR SCHEDULE

TYPE	MATERIAL	SIZE			FINISH		FRAME DETAIL	HARDWARE	REMARKS
		W.	H.	THK.	DOOR	FRAME			
A	ALUM.	3'-0"	7'-0"	3/4"	ALUM.	ALUM.	1	-	PANIC HARDWARE

DOOR TYPE

DOOR FRAME

HARDWARE SCHEDULE



HW-1

- (3) BUTT HINGES
- (1) PANIC HARDWARE
- (1) AUTOMATIC CLOSER
- (1) ALUMINUM THRESHOLD.
- (1) WEATHERSTRIP
- (1) DOOR SWEEP
- (1) WATER SHED
- (1) SILENCERS

Figure 2. Door specifications.

**QUOTE REQUEST FOR JOB QUOTE: J0037292**

Del-Ray Glass Co., Inc.  
6621 Richmond Highway  
Alexandria, VA 22306

Phone: (703) 683-1114 Fax: (703) 683-4708

**Job Site:** J0037292  
211 WEST APARTMENTS  
211 N. WEST ST  
Alexandria, VA 22314

**Customer** C0301400  
**Address:** 211 WEST APARTMENTS  
211 N. WEST ST

Alexandria, VA 22314  
P: 703-780-6700 F: 703-579-6780

**Project Name** 211 WEST APTS / NEW DOOR

**Job Details:**

FURNISH AND INSTALL

INSTALL DOOR FRAME IN NEW BRICK OPENNING  
OPTION 1 - CUSTOM SIZE 40" X 82 1/2"  
20-D NARROW STYLE OFFSET PIVOT DOOR - CLEAR ANODIZED  
STANDARD PUSH/PULL BAR  
YES 45-FS 1-3/4" X 4-1/2" NON TRAMSON FRAME  
SURFACE MOUNTED CLOSER  
SPECIAL HEIGHT DOOR & FRAME

**NOTE: ALL WORK DONE AT CUSTOMER OWN RISK**  
**- WE USE NP-1 TO SEAL THE FRAME IN & OUTSIDE**

Figure 3. Quote for project indicating creation of new opening for new door.