

Docket Item # 4
BAR CASE # 2009-0271

BAR Meeting
December 9, 2009

ISSUE: Addition
APPLICANT: Kerinia Cusick and Benigno Muniz Jr
LOCATION: 417 North Fayette Street
ZONE: RB/Residential

STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness application with the following conditions:

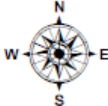
1. That the applicant provides manufacturer information and cut-sheets on the new windows, for Staff review and approval prior to applying for a building permit;
2. That the nails not show in the installation of the fiber cement siding on the addition;
3. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
4. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
5. The statements in archaeology conditions above shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of BAR approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR CASE #2009-0270 & 0271 12/9/2009



Note: BAR Case # 2009-0270 must be approved before this item may be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for a two-story rear addition at 417 North Fayette Street.

The proposed two-story addition will replace an existing one-story open, covered porch which currently extends off of the rear elevation of the house. The new addition will project 4 feet 9 inches further into the rear yard and extend 6 feet farther to the south side yard than the current one-story covered porch. The new two-story addition will have a footprint of 18 feet by 19 feet 4 inches. The new massing will be detailed with an additional 4 foot wide by 14 foot 7 inches long, one-story extension affixed to the new south elevation (the existing covered porch measures 14 feet 7 inches long by 12 feet wide).

The roof form of the addition will mimic the existing flat roof on the historic house. To gain additional ceiling height, the overall height of the two-story addition will increase to 24 feet from grade (the height of the historic house is 22 feet 11 inches from grade). The applicant has provided a cross section of the house to illustrate the existing and proposed interior room relationships.

The new addition will be clad with smooth, 6 inch exposure, fiber cement siding. The proposed fixed and casement windows will be painted wood, double pane with Low E insulating glass. The addition's south and north (side) elevations will be partially visible from the public right of way. The south elevation will contain a tripartite window (fixed sash flanked by casements) on the first floor and square awning windows detailed with a cement fiber lower panel on the second floor will be partially visible from the public right-of-way. The north (side) elevation will be detailed with a set of paired casement windows with transoms and a set of relocated, aluminum clad, wood, single-light doors with a single-light transom on the first floor and a set of paired windows with transoms on the second. The east (rear) elevation of the addition will contain a tripartite window (fixed sash flanked by casements) with transoms on the first and second floors.

II. HISTORY:

The freestanding two-story Colonial Revival style brick dwelling at 417 North Fayette Street was the first house built on this block. A building permit for its construction was issued in November 1940 to Dr. H.S. Chissell (Building Permit No.2772). Designed by local architect, R.W. Farrell and built by Norman B. Simpson, the building was originally constructed at a cost of approximately \$6250 to serve as both a dwelling and an office for Dr. Chissell. The office was located in the basement and was accessed by an exterior stairwell at the front of the building.

Previous Approvals:

In 2000, the Board approved a curb cut for this property (BAR Case #2000-0188, 9/13/00).

In 2001, the Board approved a number of alterations to the house including new windows, a rear two-story bay addition, rooftop alterations and new front and side porticos (BAR Case # 2001-0144 and 0145).

The rooftop alterations proposed included a new HVAC unit in the same general location as the existing and a 2 ½ foot wood railing at the rear of the roof enclosing a roof deck. No ductwork

was shown (BAR Case #2001-145, 6/27/2001). A perspective drawing submitted with the 2001 application and labeled, “the purpose of this sheet is to show the exposure of roof top appurtenances (railing, AC unit) to the street,” indicated that the HVAC equipment would not be visible at all. Based on that information, the Board approved the alterations and waiver of screening. Subsequently, BAR Staff approved the mechanical permit for the HVAC installation, noting that per the BAR of 6/27/2001, the equipment was “not to be visible from the public right of way” (MEC 2001-02819, 10/3/2001).

As built, the rooftop railing was omitted and ductwork was installed in addition to the HVAC unit. The discrepancy between the approvals and the installation was brought to the attention of BAR Staff by Code Enforcement Staff in 2004. Mr. Collins, the owner in 2001 sold the property on September 9, 2004. On October 27, 2004 (Bar Case number 2004-00226/0227) the Board heard the violation case and voted to not require the removal of the ductwork and did not believe a railing would be an appropriate screen for the ductwork.

III. ANALYSIS:

The proposed addition complies with zoning regulations.

In Staff’s opinion, the proposed addition is compatible in style and massing to the historic house, and conforms to the *Design Guidelines* for residential additions. In keeping with the recommendations contained in the *Guidelines*, the addition is designed as a background building to “...allow [the] historic structure to maintain the primary visual importance. The design “creates a distinct yet compatible contrast with the original building through the use of differing materials, colors and the abstraction of the principal design elements of the original building.” The use of a modern and simplistic form, roofline, materials, rhythm, and fenestration sizing on the addition helps to differentiate it from the original brick Colonial Revival structure.

This house is considered a contributing resource within the Parker-Gray Historic District for its simple, three-bay, flat roof form and historic details that include common bond brick walls and a denticulated cornice on the front façade. However, alterations to the building have included replacement windows, the addition of a front entry portico, the addition a two-story open porch, the addition of a two-story rear bay, and the installation of a set of paired, single-light doors on the rear elevation.

Fiber cement siding

Staff does not object to the applicant’s use of fiber cement siding on the rear addition. However, the applicant is reminded that the nails should not show in the installation of the siding.

Windows and Doors

The *Design Guidelines* recommend that all windows on historic properties be single glazed (one pane of glass) with true divided lights. However, the Board sometimes permits the use of double-insulated (two panes of glass) windows and doors on less visible elevations, and on new construction. As such, Staff does not object to the use of painted, wood, double-glazed windows in addition to the reuse of the existing aluminum clad, wood, single light doors on the addition. No manufacturer’s specifications were provided for the proposed windows, therefore, Staff recommends that this additional information be provided to Staff for approval prior to submission of the building permit.

IV. STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness application with the following conditions:

1. That the applicant provides manufacturer information and cut-sheets on the new windows, for Staff review and approval prior to applying for a building permit;
2. That the nails not show in the installation of the fiber cement siding on the addition;
3. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
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STAFF:

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Stephen Milone, Division Chief, Land Use Services

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

- C-1 Additions and alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit (USBC 108.1). Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application (USBC 109.1).
- C-2 Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-6 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-7 A Certificate of occupancy shall be obtained prior to any occupancy of the building or portion thereof, in accordance with USBC 116.1.
- C-8 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Transportation and Environmental Services (T&ES):

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

Alexandria Archaeology:

Archaeology Finding:

A Civil War Quartermaster's map indicates the presence of a government bakery and support facilities on the block bounded by Fayette, Oronoco, Princess, and Henry streets. There are no known structures on the current development lot, but there is a slight possibility for archaeological resources relating to these military activities to be present. To ensure that

information about the past is not lost as a result of this project, the conditions outlined below are recommended.

Archaeology Recommendations:

*1. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

*2. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

3. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

VI. IMAGES



Figure 1: Ariel View of Property

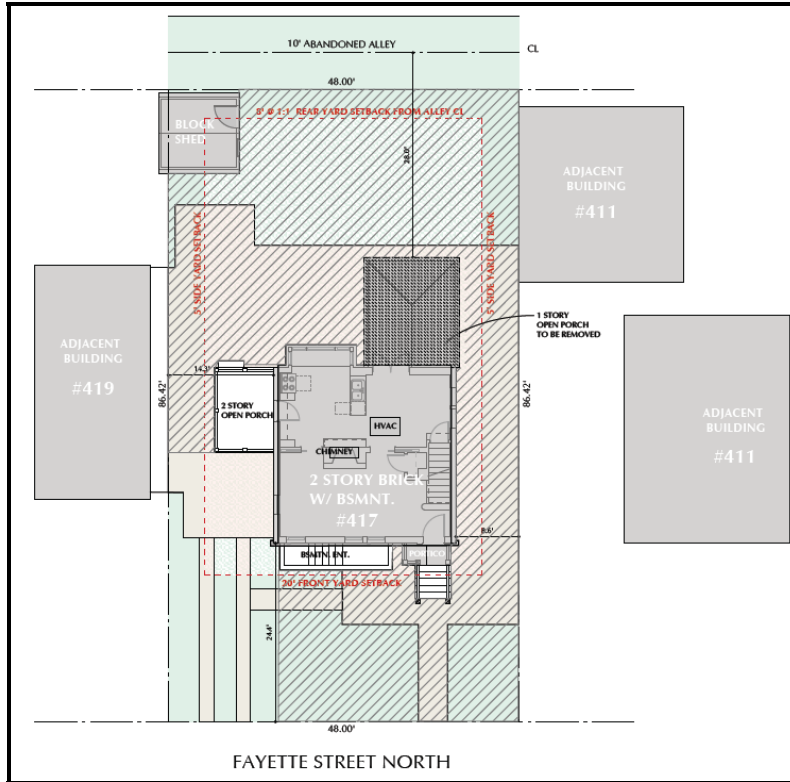


Figure 2: Existing Conditions Site Plan

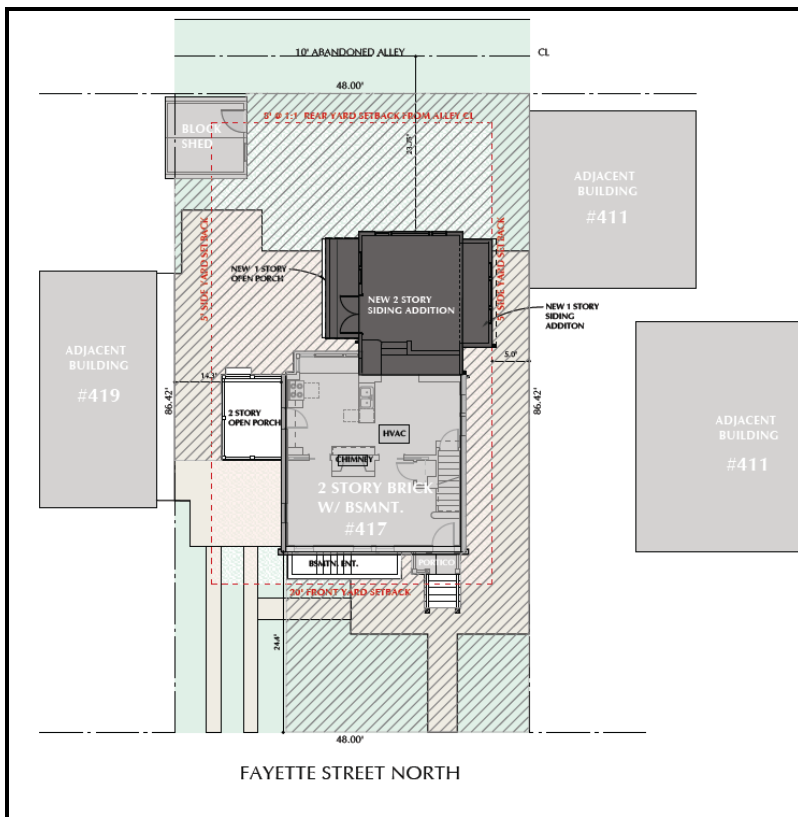


Figure 3: Proposed Site Plan

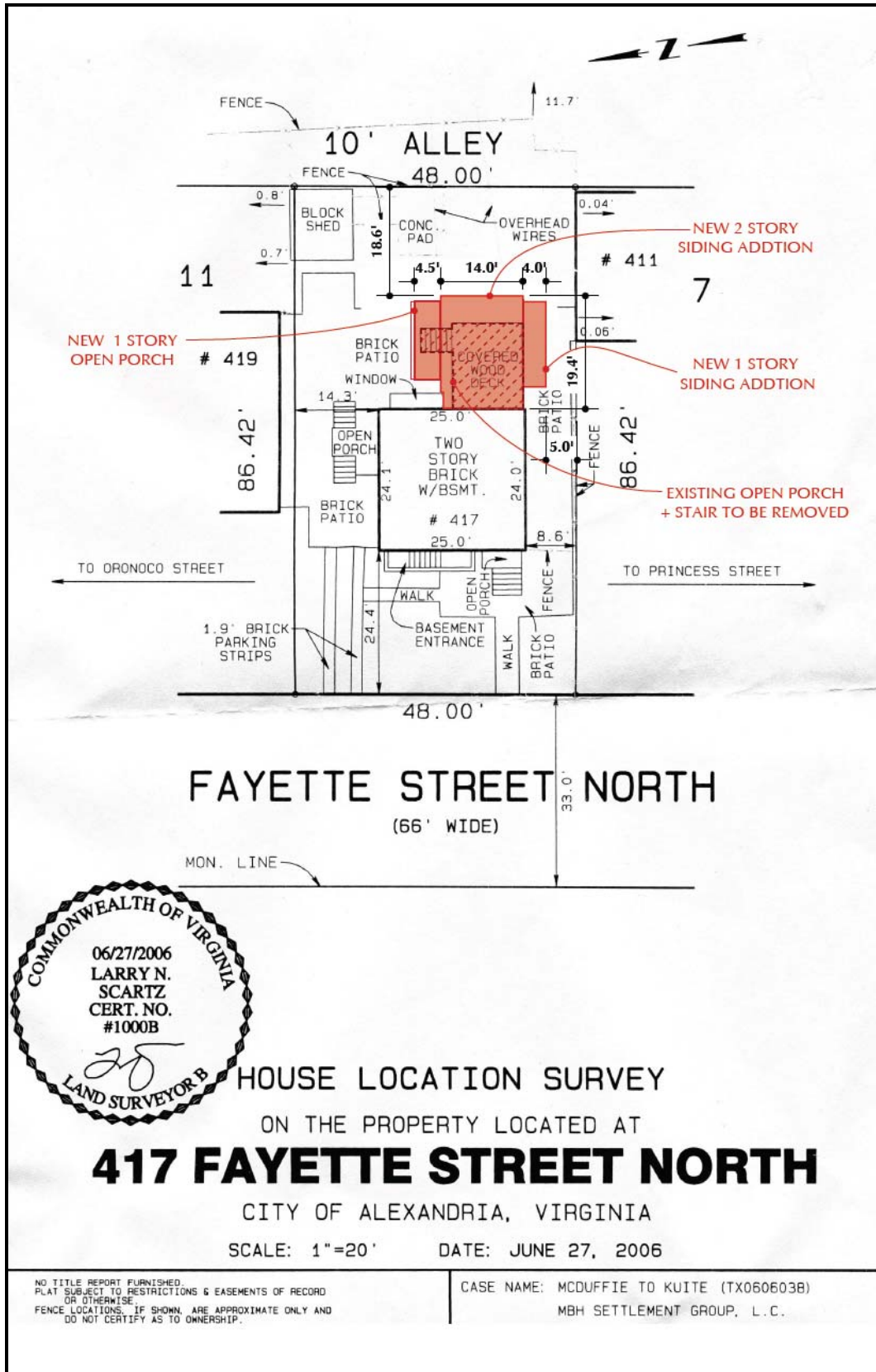


Figure 4: Plat – Showing proposed Demolition



Figure 5: Front Façade - Existing



Figure 6: Rear Elevation Proposed

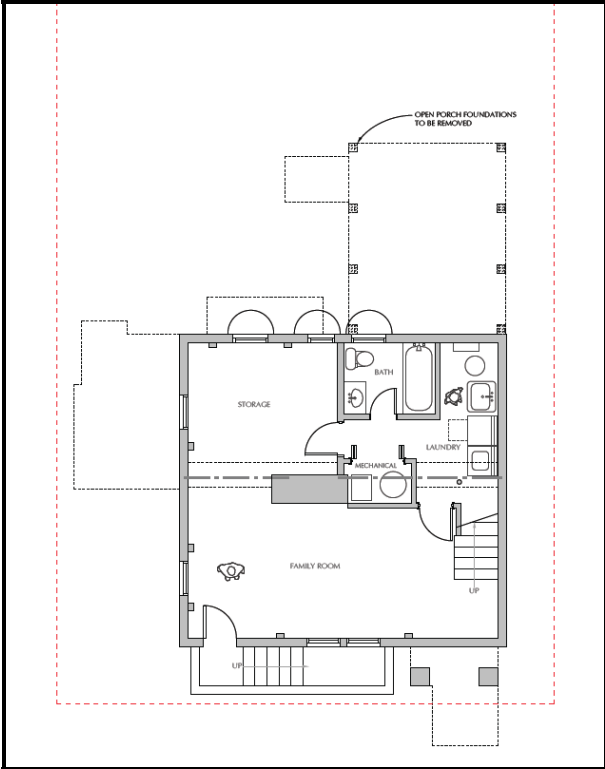


Figure 7: Footprint - Existing Conditions

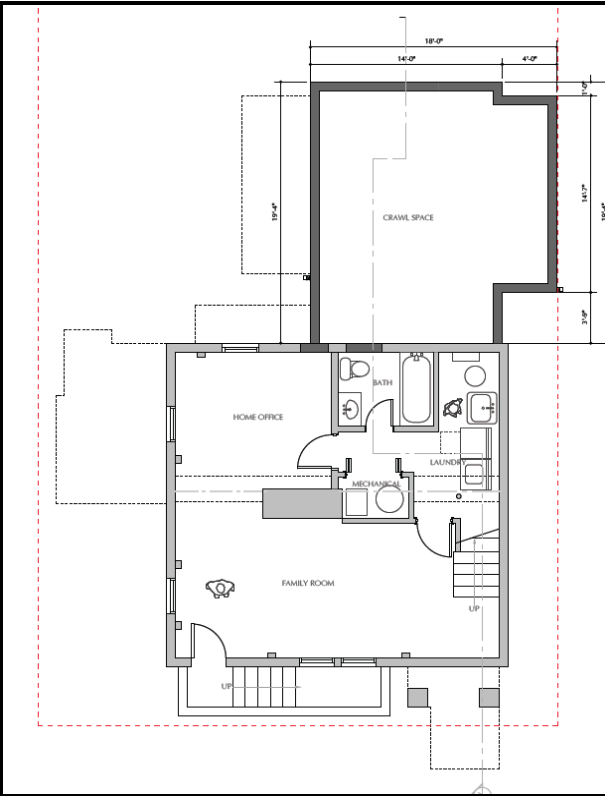


Figure 8: Footprint - Proposed



Figure 9: Front Façade - Existing Conditions



Figure 10: Front Façade - Proposed



Figure 11: North Elevation - Existing Conditions



Figure 12: North Elevation - Proposed



Figure 13: East (Rear) Elevation - Existing Conditions



Figure 14: East (Rear) Elevation - Proposed

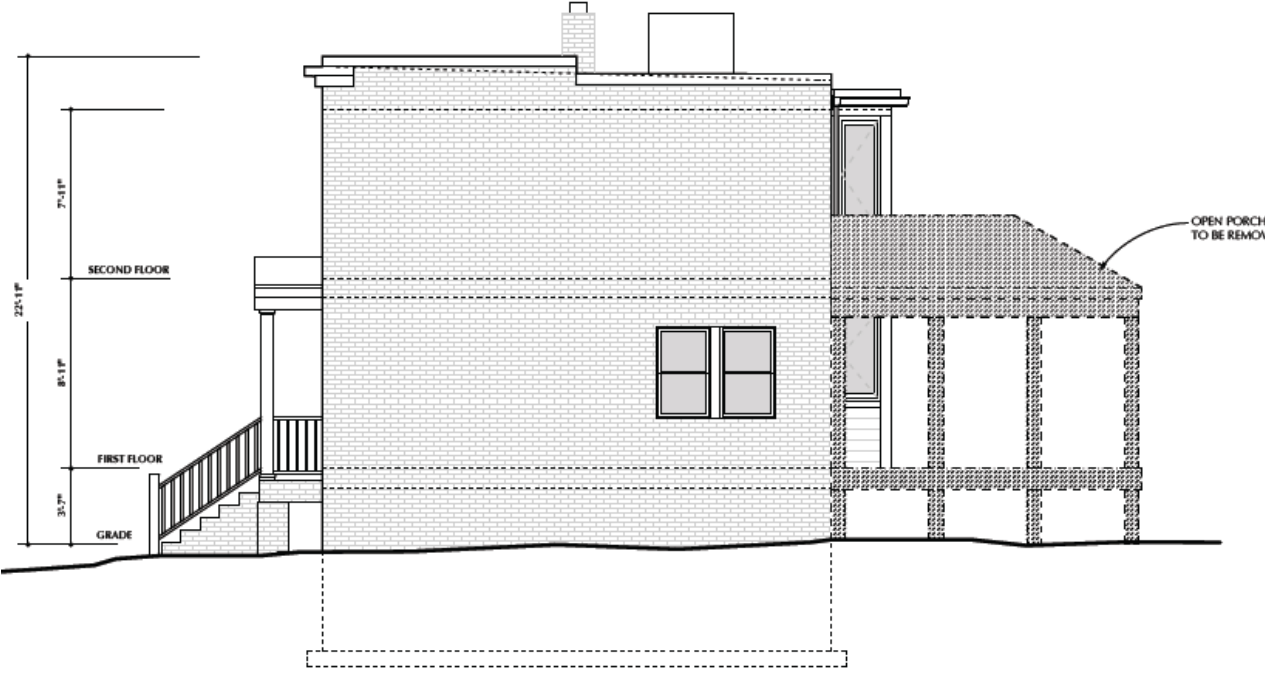


Figure 15: South Elevation - Existing

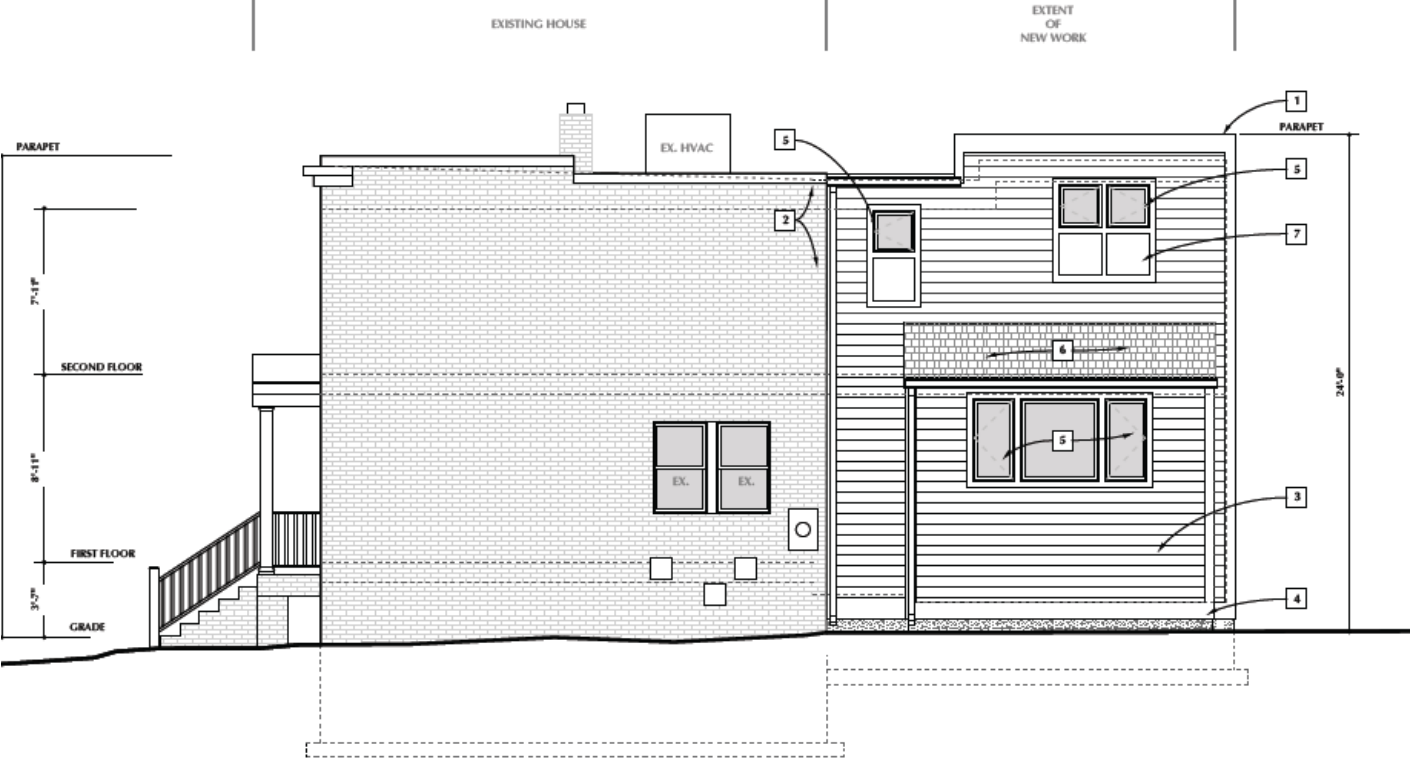


Figure 16: South Elevation - Proposed

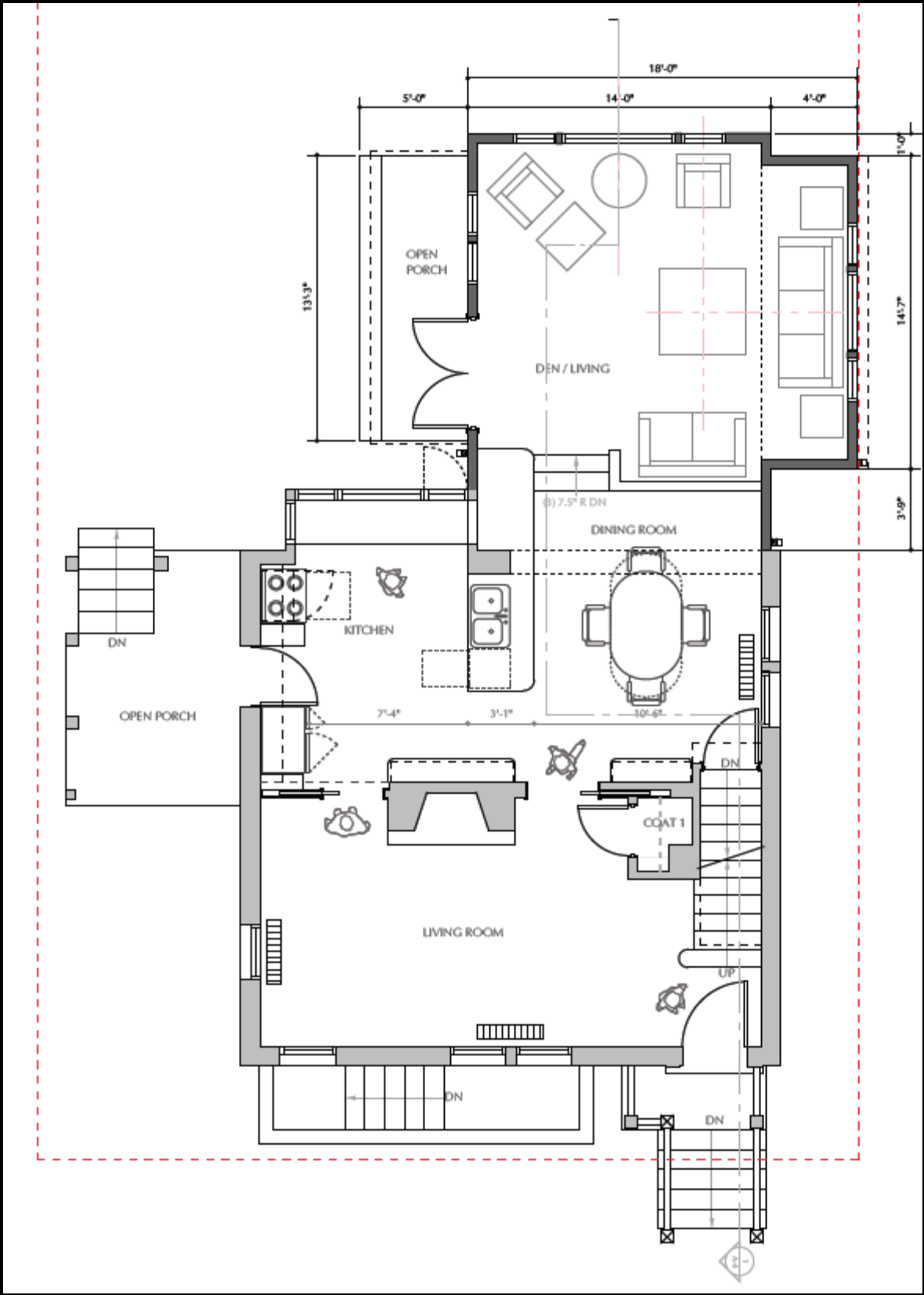


Figure 17: First Floor Plan - Proposed

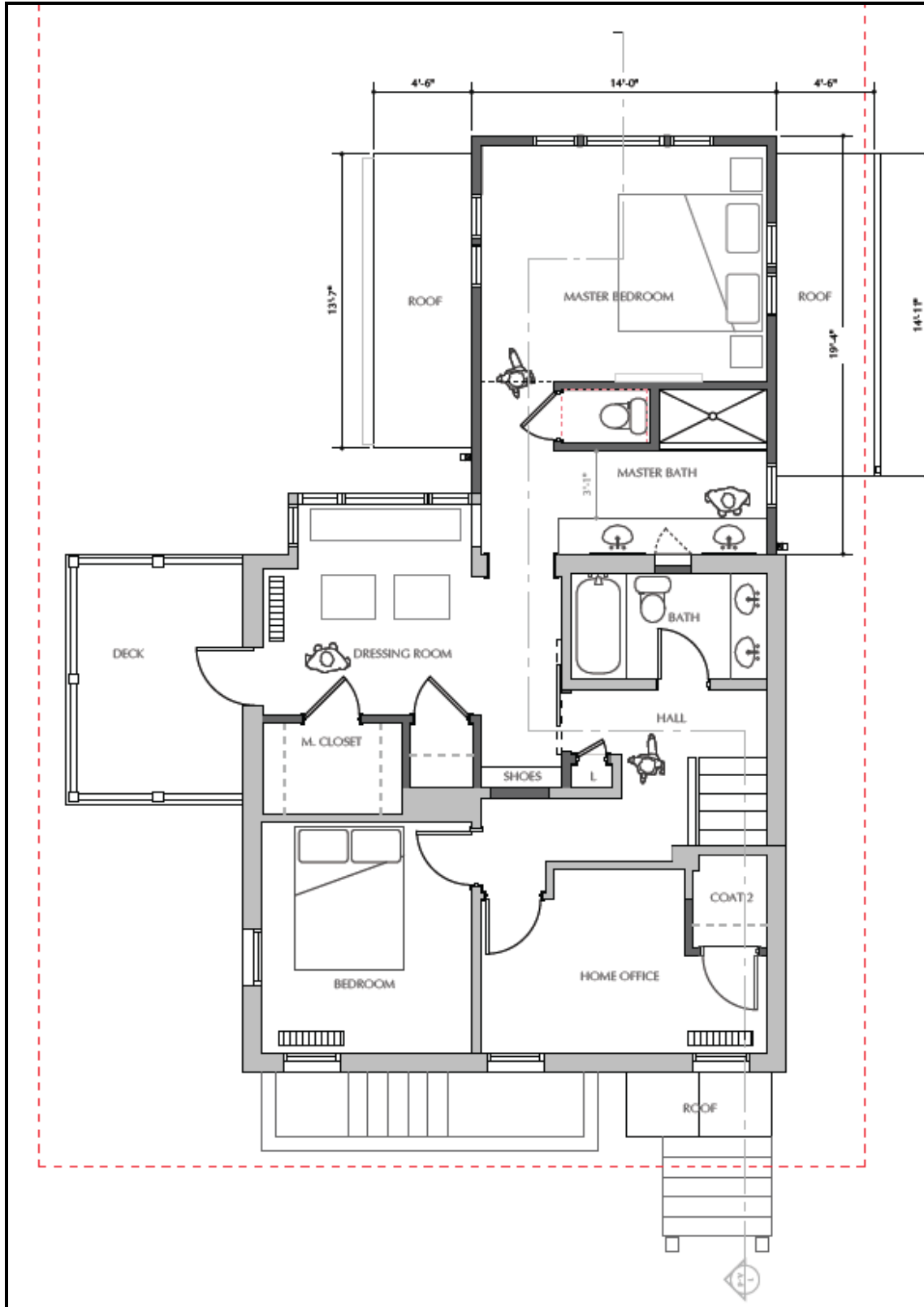


Figure 18: Second Floor Plan - Proposed