

Docket Item # 2
BAR CASE # 2011-0134

BAR Meeting
June 22, 2011

ISSUE: After-the-Fact Alterations (Fence)

APPLICANT: Mark and Kara Handzlik

LOCATION: 1403 Princess Street

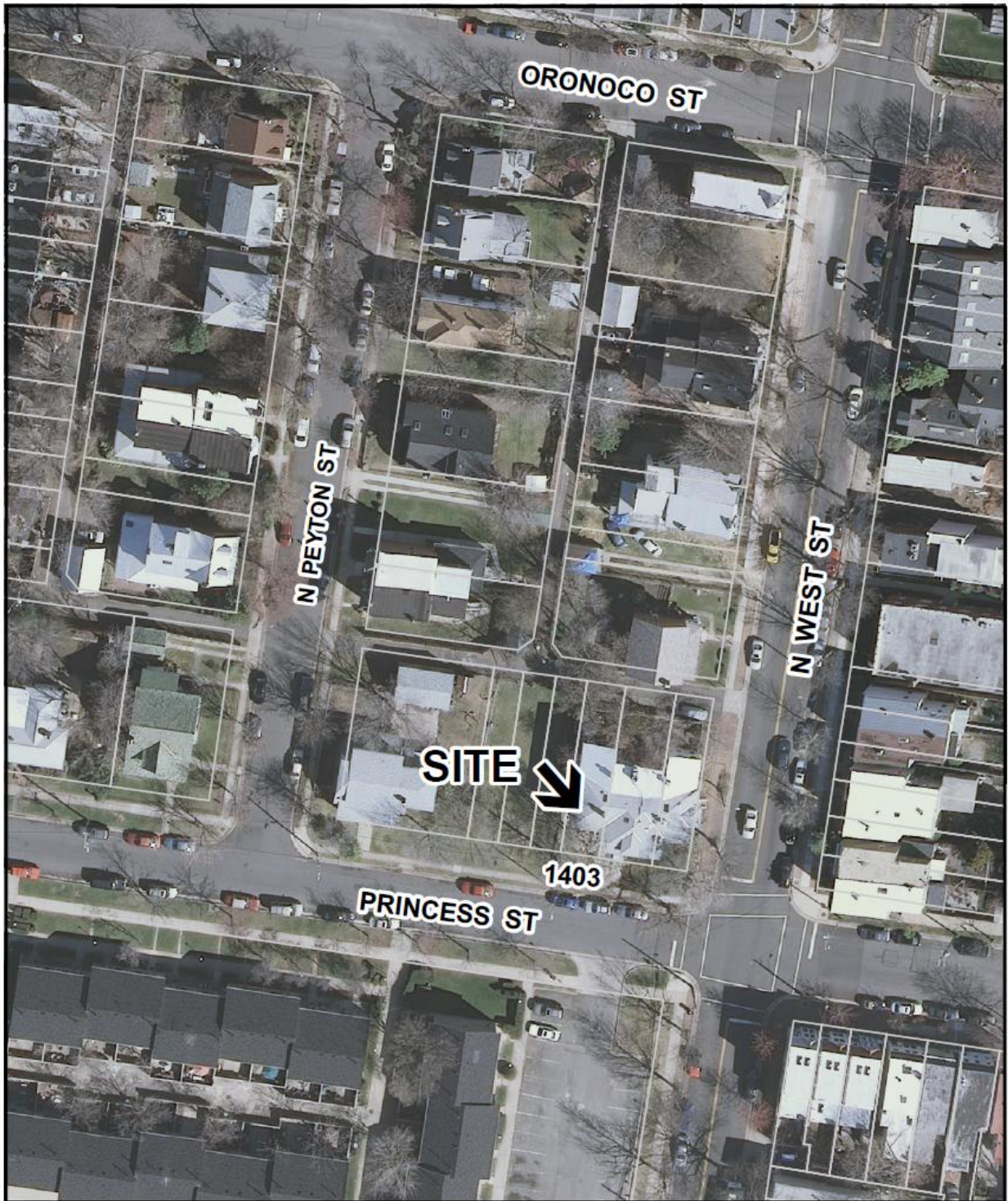
ZONE: RB/ Residential Townhouse Zone

STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness with the following conditions:

1. That the fence posts be moved back toward the south façade of the house so that it is located entirely on the subject property;
2. That the height of the constructed fence is no taller than 3’6”.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2011-0134



I. ISSUE:

The applicant is requesting after-the-fact approval of a Certificate of Appropriateness for construction of a new 38 inch high (installed height of posts), black aluminum fence to enclose the front yard. A gate will be installed at the front walkway. The proposed fence will connect with the neighbors existing metal property line fence at 1413 Princess Street.

The construction of the fence at 1403 Princess Street came to the attention of Staff due to a neighbor's complaint. To date, only the fence posts have been installed.

II. HISTORY:

The two-story stucco and wood residence at 1403 Princess Street was constructed in **1993** in a vernacular Craftsman style that references the neighboring property. It appeared before the BAR in October of 1990 and was approved per BAR Case #1990-0020. 1403 Princess Street was built abutting the west property wall of 1401 Princess, which was constructed around 1940. 400 N West Street abuts 1401 Princess Street on its east property wall and was also approved per BAR Case #1990-0020.

No other BAR approvals were located.

III. ANALYSIS:

Staff would like to commend the applicant on working with Staff to promptly resolve this violation.

As constructed, the fence is located approximately 6 feet into the public right-of-way along Princess Street. The Zoning and T&ES Staff advise that the fence must be removed from the public right-of-way. If the applicant wishes to install the fence in its current location, as shown on the plat (See Figure 1), the applicant will need to request an Encroachment, and defer the BAR decision.

The proposed new fence complies with zoning ordinance requirements only if they are located on the subject property.

The *Design Guidelines* state that "fences, garden walls and gates should be appropriate in materials, design and scale to the period and character of the structure they surround." Staff has no objection to the proposed fence as it is appropriate in material, design and scale. The proposed aluminum fence is made of a modern material, which is appropriate for the age of the building. The simple design of the fence fits the vernacular style of the house and is designed to be predominantly transparent, which preserves the public view of the green space. The scale of the fence complements the scale of the structure and complies with the zoning ordinance, measuring below the maximum 3'6" height for a front yard fence.

Staff recommends the approval of the Certificate of Appropriateness with the condition that the fence be relocated entirely on the subject property and that the constructed fence is no taller than 3'6".

STAFF:

Courtney Lankford, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS:

Legend: C – Code Requirement R – Recommendation S – Suggestion F- Finding

Zoning Section:

C-1 Proposed open fence less than 3.50 feet in height is located in the public right-of-way. Relocate fence onto subject property.

Code Administration:

C-1 A building permit will be required prior to the erection of the fence.
No building permit required for 3.5' fence (rev)

Transportation and Environmental Services (T & ES)

RECOMMENDATIONS

- R1. The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design and must be included on the required Grading Plan. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on all plans submitted for approvals. (T&ES)
- R5. An Erosion and Sediment Control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R6. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)

FINDINGS:

F1. An approved grading plan is not required for the proposed improvement at this time.

CODE REQUIREMENTS

C1. An Encroachment will be required for the front fence installation as it is within the public right-of-way. (Sec. 5-2-29) (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-3 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. IMAGES:

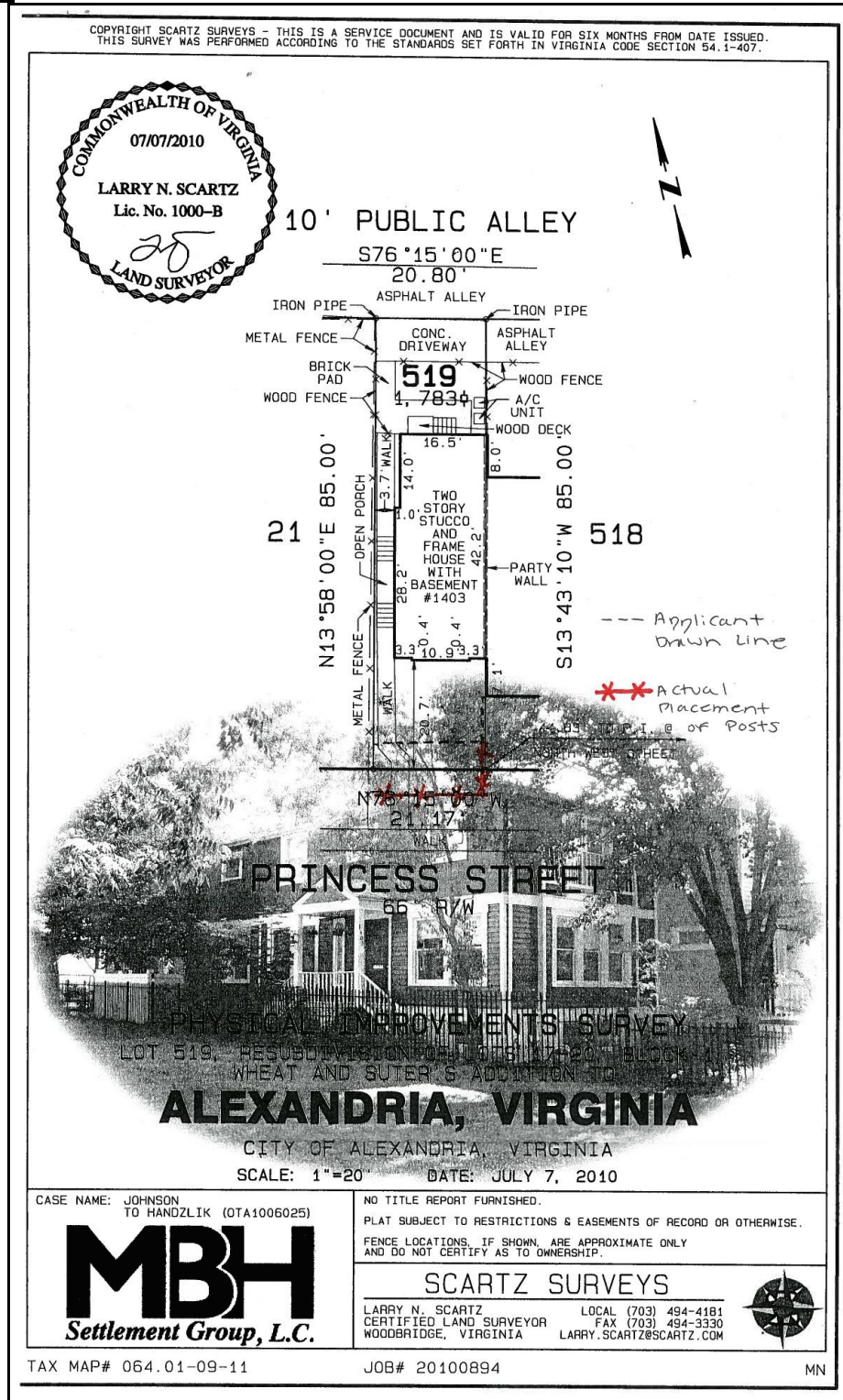


Figure 1: Plat



Figure 2: South elevation of 1403 Princess Street with installed fence posts in the foreground.



Figure 3: West and South elevation of 1403 Princess Street. Note: the metal fence in the foreground is a neighbor's property line fence.



Figure 4: Proposed fencing material.

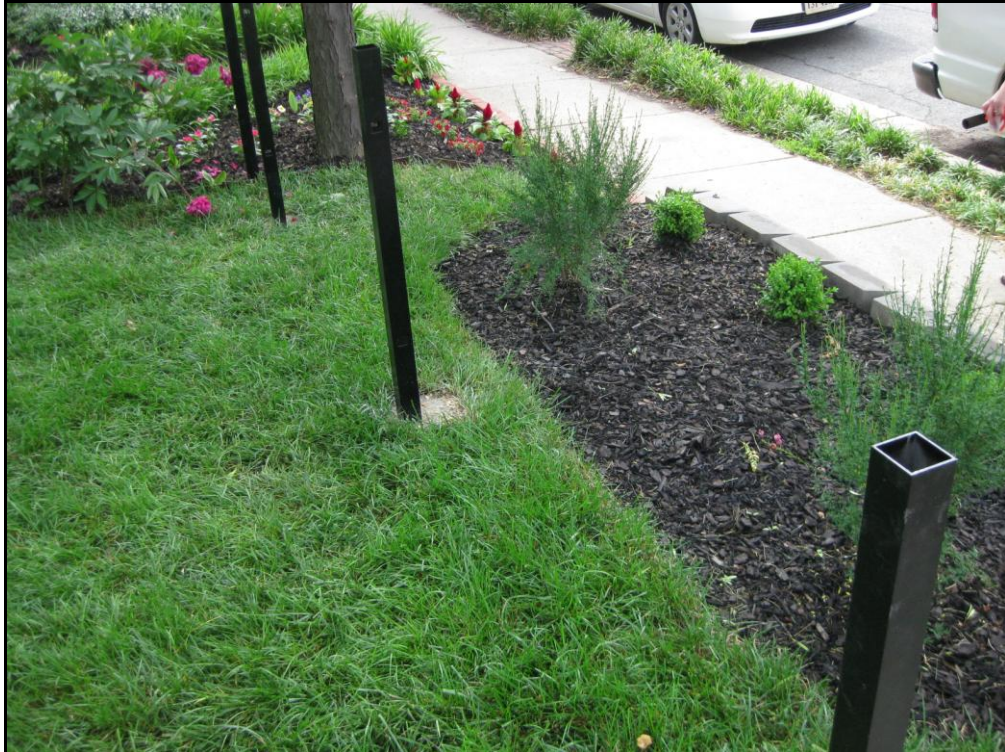


Figure 5: Proposed posts for fence. Note: these posts are located in the public right-of-way.



Freedom 4 x 6 Providence Panel (Black)

Item #: 172745 | Model #: 73002210

Overall Rating:

★★★★★ 1 review | Write a review

\$84.29

Figure 5: Specifications of proposed fence.